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For all enquiries relating to this agenda please contact Kim Houghton
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Date: 11th July 2018

Dear Sir/Madam,

A meeting of the **Planning Committee** will be held in the **Council Chamber, Penallta House, Tredomen, Ystrad Mynach** on **Wednesday, 18th July, 2018** at **5.00 pm** to consider the matters contained in the following agenda. You are welcome to use Welsh at the meeting, a minimum notice period of 3 working days is required should you wish to do so. A simultaneous translation will be provided if requested.

All Committee meetings are open to the Press and Public, observers and participants are asked to conduct themselves with respect and consideration for others. Please note that failure to do so will result in you being asked to leave the meetings and you may be escorted from the premises.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'Chrissy'.

Christina Harrhy
INTERIM CHIEF EXECUTIVE

AGENDA

A greener place Man gwyrddach

Correspondence may be in any language or format | Gallwch ohebu mewn unrhyw iaith neu fformat



1 To receive apologies for absence.

2 Declarations of Interest.

Councillors and Officers are reminded of their personal responsibility to declare any personal and/or prejudicial interest(s) in respect of any item of business on this agenda in accordance with the Local Government Act 2000, the Council's Constitution and the Code of Conduct for both Councillors and Officers.

To approve and sign the following minutes: -

3 Planning Committee held on 20th June 2018.

1 - 10

To receive and consider the following report(s): -

Planning Applications Under The Town And Country Planning Act - North Area: -

4 17/1033/FULL - Land at Grid Ref 317269 196829 Coronation Road East Lane, Blackwood. 11 - 26

5 18/0318/RET - 2 Laburnum Houses, St David's Avenue, Woodfieldside, Pontllanfraith, NP12 0PQ. 27 - 32

6 18/0393/FULL - 20 Fflorens Road, Treowen, NP11 3ED. 33 - 40

7 18/0429/FULL - Land At Grid Ref 319863 198707 Pleasant View South Lane, Croespenmaen. 41 - 52

8 18/0408/LA - Land At Grid Ref 311486 207255 The Lawns Industrial Estate, Rhymney. 53 - 64

9 18/0409/FULL - Land At Grid Ref 324887 190651 Holly Road, Ty Sign, Risca. 65 - 80

10 18/0374/FULL - Pontllanfraith Youth Centre And Cyber Café, Sir Ivor Road, Pontllanfraith, NP12 2JH. 81 - 92

11 17/0973/FULL - Gelliargwellt Uchaf Farm, Gelligaer Road, Gelligaer, CF82 8FY. 93 - 104

Planning Applications Under The Town And Country Planning Act - South Area: -

12 18/0123/FULL - Land at Grid Ref 321036 188882, Rhyd y Gwern Lane, South Of Clos Trefeddyg, Machen. 105 - 132

13 18/0168/FULL - 37 Hillside Terrace, Bedwas, CF83 8AJ. 133 - 138

14	18/0073/RET - Unit 1, Nant Court, Glenview Terrace, Llanbradach, CF83 3RX.	139 - 144
15	18/0324/RET - Land At Grid Ref 310215 195221 Pontypridd Road, Nelson.	145 - 152
To receive and note the following information item(s): -		
16	Applications determined by delegated powers.	153 - 168
17	Applications which are out of time/not dealt with within 8 weeks of date of registration.	169 - 174
18	Applications awaiting completion of a Section 106 Agreement.	175 - 176
19	Appeals outstanding and decided.	177 - 180

Circulation:

Councillors M.A. Adams (Chair), Mrs E.M. Aldworth, C. Andrews, A. Angel, J. Bevan, W. David (Vice Chair), M. Davies, J.E. Fussell, R.W. Gough, A.G. Higgs, A. Hussey, B. Miles, Mrs G.D. Oliver, J. Ridgewell, J. Simmonds, J. Taylor, A. Whitcombe, R. Whiting and T.J. Williams

And Appropriate Officers

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PLANNING COMMITTEE

MINUTES OF THE MEETING HELD AT PENALLTA HOUSE, YSTRAD MYNACH
ON WEDNESDAY, 20TH JUNE 2018 AT 5:00PM

PRESENT:

Councillor M. Adams - Chair
Councillor W. David - Vice-Chair

Councillors:

Mrs E.M. Aldworth, C. Andrews, A. Angel, M. Davies, R.W. Gough, A.G. Higgs, B. Miles, J. Ridgewell, J. Taylor, R. Whiting and T.J. Williams.

Together with:

C. Boardman (Senior Planner), C. Campbell (Manager, Transport Engineering), R. Crane (Solicitor), M. Davies (Principal Planner), G. Mumford (Environmental Health Officer), C. Powell (Principal Planner), A. Pyne (Senior Planner), T. Stephens (Development Control Manager) and K. Houghton (Committee Services Officer).

1. APOLOGIES FOR ABSENCE

Apologies for absence had been received from Councillors J. Bevan, J.E. Fussell, Mrs G.D. Oliver, J. Simmonds and A. Whitcombe

2. DECLARATIONS OF INTEREST

There were no declarations of interest received at the commencement or during the course of the meeting.

3. MINUTES – 23RD MAY 2018

It was moved and seconded that the minutes of the meeting held on the 23rd May 2018 be agreed as a correct record and by a show of hands and this was unanimously agreed:

RESOLVED that the minutes of the Planning Committee held on 23rd May 2018 (minute nos. 1-10) be approved and signed as a correct record.

PLANNING APPLICATIONS UNDER THE TOWN AND COUNTRY PLANNING ACT - NORTH AREA.

4. PREFACE ITEM CODE NO. 17/0723/FULL – OAKDALE SCOUT HALL, KINCOED ROAD, OAKDALE, BLACKWOOD, NP12 0LP

Following consideration of the application it was moved and seconded that the application be refused and by a show of hands and in noting, there were 1 against and 0 abstentions this was agreed by the majority present.

RESOLVED that: - For the reasons as set out in the Officer's preface report, this application be refused

5. CODE NO. 17/1033/FULL – LAND AT GRID REF 317269 196829 CORONATION ROAD EAST LANE, BLACKWOOD

Councillors N. Dix, K. Etheridge and A. Farina-Childs spoke in objection and Mr S. Harries (the applicant's agent) spoke in support of the application.

It was noted that a site visit took place on Monday 18th June 2018.

Following consideration of the application it was moved and seconded that the recommendation contained in the Officer's report be approved with an additional condition that the obscurely glazed secondary windows on the southern elevation be removed from the plans and by a show of hands and in noting there were 5 against and 1 abstention, by the Chairman's casting vote, this was agreed by the majority present.

Following discussion with the Legal Officer with regards to the motion and the accuracy of the vote it was agreed that the vote be taken again and by a show of hands and in noting there were 9 against and 0 abstentions, the motion was declared lost.

A further motion was then moved and seconded that the application be deferred for a further report for reasons for refusal based on vehicle and pedestrian safety issues identified within the proposed development site. By a show of hands and in noting, there were 3 against and 0 abstentions, this was agreed by the majority present.

RESOLVED that: -

- (i) that the application be deferred for a further report for reasons for refusal based on vehicle and pedestrian safety issues identified within the proposed development site.

6. CODE NO. 18/0163/NCC – LAND AT TYLE CRWTH, SOUTH WEST OF YNYSDDU, NEWPORT

Mr P. Fusco (the applicant's agent) spoke in support of the application. No objectors spoke on this matter.

Following consideration of the application it was moved and seconded that the recommendation contained in the Officer's report be approved and by a show of hands and in noting, there were 2 against and 0 abstentions, this was agreed by the majority present.

RESOLVED that: -

- (i) Subject to the conditions contained within the Officer's report this application be granted;

- (ii) The applicant be advised that the proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at:
www.gov.uk/government/organisations/the-coal-authority.

- (iii) The applicant be advised of the following policies of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 are relevant to the conditions of this permission: Policies CW2, CW3 and CW4.

7. CODE NO. 18/0090/FULL – THE NEW FORGE, BRYNHOWARD TERRACE, OAKDALE, BLACKWOOD, NP12 0LG

Mr A. Shepperd spoke in objection and Mr M Bryant (applicant) spoke in support of the application.

Following consideration of the application it was moved and seconded that the recommendation contained in the Officer's report be approved subject to amendment conditions 10 and 20. By a show of hands and in noting, there were 1 against and 0 abstentions, this was agreed by the majority present.

RESOLVED that: -

- (i) Subject to the conditions contained within the Officer's report and the following amended condition this application be granted.

Amended Condition 10

"No deliveries shall be taken at or dispatched from the site outside the following hours:

Unit 1 - 0630 to 1800 hrs Monday to Saturday (including Bank Holidays) and 0800 to 1600 hrs on Sundays,

Unit 2 - 0630 to 2100 hrs Monday to Saturday (including Bank Holidays) and 0800 to 1600 hrs on Sundays."

Reason

In the interests of residential amenity.

Amended Condition 20

"Notwithstanding the submitted plans, commercial trading shall not commence until after a delivery strategy plan has been submitted to and approved in writing by the Local Planning Authority. Deliveries to the premises thereafter shall be undertaken in accordance with the approved plan and delivery vehicles shall be restricted in size to that not exceeding **10.60m** in length to ensure adequate turning is available within the site.

Reason

In the interests of highway safety.

- (ii) The applicant be advised of the attached (to the agenda report) comments of the Senior Engineer (Land Drainage), the Council's Ecologist, Dwr Cymru/Welsh Water and the Head of Public Protection.

- (iii) The applicant be advised of the following policies of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 are relevant to the conditions of this permission: Policy CW2, CW3, CW4, CW5.

8. CODE NO. 18/0288/FULL – YNYSDDU NURSING HOME, MOUNT PLEASANT, YNYSDDU, NEWPORT, NP11 7JQ

Following consideration of the application it was moved and seconded that the recommendation contained in the Officer's report be approved and by a show of hands and in noting, there were 0 against and 0 abstentions, this was unanimously agreed.

RESOLVED that: -

- (i) Subject to the conditions contained within the Officer's report this application is approved.
- (ii) The applicant be advised of attached (to the agenda report) comments of the Senior Engineer (Land Drainage), and the Council's Ecologist.
- (iii) The applicant be advised of the following policies of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 are relevant to the conditions of this permission: Policy CW2, CW4, CW5.

9. CODE NO. 18/0170/FULL – PANT-Y-TRWYN FARM, MYNYDDISLWYN MOUNTAIN ROAD, MYNYDDISLWYN, NEWPORT, NP11 7BB

Councillor P. Marsden addressed the Committee as local ward member. The applicant who had been advised declined the opportunity to speak.

It was noted that a site visit took place on Monday 18th June 2018.

The Development Control Manager informed the Committee that an additional condition had been added stating that all waste associated with the animal shelter including feedstuffs and manure must not be allowed to accumulate onsite.

Following consideration the application it was moved and seconded that the recommendation contained in the Officer's report be approved subject to the aforementioned additional condition. By a show of hands and in noting, there were 0 against and 1 abstention, this was agreed by the majority present.

RESOLVED that: -

- (i) Subject to the conditions contained within the Officer's report and the following additional condition this application be granted.

Additional Condition 9

All waste associated with the animal shelter including feedstuffs and manure must not be allowed to accumulate onsite.

Reason:

To minimise the attraction of pests to the site, and to prevent any nuisance to the surrounding houses from pests and odour"

- (ii) The applicant be advised of the attached (to the agenda report) comments of the Rights of Way Officer, Dwr Cymru/Welsh Water, the Senior Engineer (Land Drainage) and the Council's Ecologist.
- (iii) The applicant be advised of the following policies of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 are relevant to the conditions of this permission: Policy CW2, CW4.
- (iv) The applicant be advised that the proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at:
www.gov.uk/government/organisations/the-coal-authority.

10. CODE NO. 18/0289/NCC – GELLIDEG INDUSTRIAL ESTATE, GELLIDEG LANE, MAESCWYMMER

Following consideration of the application it was moved and seconded that the recommendation contained in the Officer's report be approved. By a show of hands this was unanimously agreed.

RESOLVED that: -

- (i) That the application be deferred to allow the applicant to enter into a Variation of Section 106 Obligation to secure the obligations contained within the Unilateral Undertaking that accompanied the original application and ensure compliance with current policy; and on completion of the 106 Obligation that subject to the conditions contained within the Officer's report, the planning permission be granted.
- (ii) The applicant be advised of the following policies of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 is/are relevant to the conditions of this permission: SP6, CW2, CW3, CW4.
- (iii) The applicant be advised of the comments of the Public Rights of Way officer.
- (iv) The applicant be advised that this planning permission does not provide consent to undertake works that require an EPS licence.
- (v) The applicant be advised that it is an offence to deliberately capture, kill or disturb EPS or to recklessly damage or destroy their breeding sites or resting places. If found guilty of any offences, you could be sent to prison for up to 6 months and/or receive an unlimited fine. To undertake the works within the law, you can obtain further information on the need for a licence from Natural Resources Wales on 0300 065 3000 or at:
<https://naturalresources.wales/conservation-biodiversity-and-wildlife/europeanprotected-species/?lang=en>

PLANNING APPLICATIONS UNDER THE TOWN AND COUNTRY PLANNING ACT - SOUTH AREA.

11. CODE NO. 18/0380/FULL – FIELD ADJACENT TO 3 TAI CAE BRYN, GROESWEN ROAD, CARDIFF

Following consideration of the application it was moved and seconded that the recommendation contained in the Officer's report be approved and by a show of hands this was unanimously agreed.

RESOLVED that for reasons contained in the Officer's report this application be refused.

12. CODE NO. 18/0123/FULL – LAND AT GRID REF 321036 188882, RHYD Y GWERN LANE (SOUTH OF CLOS TREFEDDYG), MACHEN

Mr A. Issacs spoke in objection of the application. The applicant who had been advised declined the opportunity to speak

It was noted that a site visit took place on Monday 18th June 2018.

A motion was moved and seconded that the application be deferred for a further report for reasons for refusal based on vehicle, pedestrian and cyclist safety and access arrangements during the construction phase. By a show of hands and in noting, there were 0 against and 0 abstentions, this was unanimously agreed.

RESOLVED that the application be deferred for a further report for reasons for refusal based on vehicle, pedestrian and cyclist safety and access arrangements during the construction phase.

13-16. ITEMS FOR INFORMATION

The following items were received and noted: -

- (1) Applications determined by delegated powers;
- (2) Applications which are out of time/not dealt with within 8 weeks of date of registration;
- (3) Applications awaiting completion of a Section 106 Agreement;
- (4) Appeals outstanding and decided.

The meeting closed at 20.40pm.

Approved as a correct record and subject to any amendments or corrections agreed and recorded in the minutes of the meeting held on 18th July 2018, they were signed by the Chair.

CHAIR

Members' Site Visit

PLANNING APPLICATION REFERENCE: 17/1433/OUT

PROPOSED DEVELOPMENT: Construct seven dwellings and associated works, including the creation of a one-way system to serve the development

LOCATION: Land At Grid Ref 317269 196829 Coronation Road East Lane Blackwood

DATE OF SITE VISIT: 18th June 2018

MEMBERS PRESENT: M Adams, W David, N Dix, K Etheridge and A Farina-Childs

The following points were raised by members, and the answers provided:

- Cllr Adams advised all present that any questions that could not be answered at the meeting would be answered at Planning Committee.
- Cllr Dix raised concerns about the loss of a green space and the likely implication for land drainage in the area.
- Cllr Farina-Childs echoed the concerns of Cllr Dix that the access leading to the proposed development was inadequate and would be detrimental to highway safety, particularly for pedestrian users of the lane.

- Cllr Dix queried whether the existing off street parking would be removed as result of the proposed layout. This was confirmed to members, however it was also noted that this parking area was created for Social Services staff and not for residents.

- Cllr Dix queried whether the existing users of the garages adjacent to the application site had been taken into consideration in relation to the proposed one way system. This was confirmed to members that vehicle users of the garages below Coronation Road would have to adhere to the one way system.

- Cllr Etheridge requested that the additional condition proposed relating to a Construction Traffic Management Plan (CTMP) after the report was prepared is unacceptable without seeing the specific wording of the condition prior to members making an informed decision. Members were informed that it is common for additional conditions to be reported at planning committee or members to consider when determining any application recommended for approval.

- Cllr Etheridge asked the following questions to be answered relating to the officer report:
 1. Why are the Highways Authority relying on allowed appeals for similar residential development with no formal footpath arrangements?
 2. Why are existing highway users allowed to cut the corner at the junction of the site and how will this be prevented in the future?
 3. Why do Officers considered that the highway safety situation will likely improve as a result of the development?

4. Why does the case officer incorrectly refer to privacy distances of 21 metres in the report when this is in fact not the case?

- Cllr Etheridge formally requested to the agent that the application is withdrawn and requests an email on behalf of the client with an intention of their reasonableness to do so. The agent confirmed that he will confirm the intentions of the applicant but that it is highly unlikely that the application will be withdrawn.
- Cllr Etheridge confirmed his intentions that he will be requesting the application to be deferred at planning committee.

Members' Site Visit

PLANNING APPLICATION REFERENCE: 18/0170/FULL

PROPOSED DEVELOPMENT: Construct a general purpose outbuilding containing animal stores and stables, treatment room and ancillary accommodation at ground floor level with equipment and feed storage at mezzanine level.

LOCATION: Land at Pant-Y-Trwyn Farm, Mynyddislwyn, Newport, NP11 7BB

DATE OF SITE VISIT: 18th June 2018

MEMBERS PRESENT: M Adams, W David, P Marsden, J Ridgewell

The following points were raised by members, and the answers provided:

- Cllr Ridgewell queried how long that the land has been designated as a Special Landscape Area (SLA). Case Officer CB advised that this information would be relayed at Planning Committee.
- Cllr Ridgewell queried the exact position of the Bridleway. Case Officer CB advised that he would provide this information further to the site visit.
- Cllr Marsden queried if the keeping of Alpaca's for breeding and wool/meat production constituted an agricultural use in accordance with the definition of agriculture. CB confirmed that it did.

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Agenda Item 4

PREFACE ITEM

APPLICATION NO.	17/1033/FULL
APPLICANT(S) NAME:	Pobl Group
PROPOSAL:	Construct seven dwellings and associated works, including the creation of a one-way system to serve the development
LOCATION:	Land At Grid Ref 317269 196829 Coronation Road East Lane Blackwood

The above planning application to erect seven affordable dwellings on land to the rear of Coronation Road was reported to Planning Committee on 20th June 2018 with a recommendation for approval subject to conditions. A copy of the previous report is attached as an Appendix.

At the meeting, it was moved and seconded that the application be deferred to allow officers to produce a reason to refuse the application on the basis that the development would be detrimental to the safety of pedestrians using the lane by virtue of the fact that inadequate width exists to provide a pedestrian footpath.

However, it is considered necessary to reiterate the positive elements associated with the scheme. The application site is currently an underused parcel of land within the settlement that provides limited amenity value. The proposed development is for seven affordable units in close proximity to Blackwood Town Centre. The distance to Blackwood Town Centre and the central bus station is less than 300 metres. Therefore the application site is located in a highly sustainable location.

In terms of the need to provide affordable housing, currently the number of applicants in Blackwood for accommodation is as follows:

- 1 bedroom dwellings – 503 persons;
- 2 bedroom dwellings – 634 persons;
- 3 bedroom dwellings – 408 persons.

The proposed development would provide 1-bed, 2-bed and 3-bed properties that would contribute to this very high need in the area.

Furthermore, the Council currently has a 2.1 year housing land supply. This has led to a number of major applications on Greenfield land being successful at appeal, i.e. Pandy Road, Cwmgelli, Oakdale Golf Course, Hendredenny. The failure to deliver housing within the defined settlement boundary increases pressure for development in the Countryside, and adds weight to the benefits of the current application.

Cont.....

Preface Item 17/1033/FULL Continued

The development as proposed includes the creation of a one-way system along the rear lanes leading to the site, as well as improvements to the lane surface and placement of street-lighting columns along the lane. It was noted by the Local Member at the June Committee that the lane is already utilised by pedestrians. The proposed development will lead to a minimal increase in pedestrian and vehicular traffic, and based on the improvements outlined above, it is considered the development will lead to an improvement in highway safety terms. Plans will also be circulated to the Planning Committee at the 18th July meeting to illustrate the width of the lane and how vehicles and pedestrians will benefit from adequate space.

It should also be noted that if the application is refused and an appeal is lodged, if that appeal were to be successful the appointed Inspector may remove the requirement for the one-way system and associated lane improvement works thereby removing the highway safety improvements negotiated as part of the current application.

RECOMMENDATION – That planning permission be GRANTED subject to the conditions contained in the original report, on the basis that the site represents a good opportunity to utilise land within the settlement boundary in close proximity to Blackwood Town Centre, to build very much need affordable dwellings to satisfy the local need. However, should members be minded to refuse the application, the following reason for refusal is suggested:

- In the absence of a pedestrian footpath the increased volume of traffic associated with the development would result in a loss of highway safety for pedestrians using the rear lane network contrary to Policy CW3 of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010.

Code No. and Date Received	Name and Address of Applicant	Description and Location of Proposed Development
17/1033/FULL 11.12.2017	Pobl Group Mr Taylor C/o LRM Planning Ltd 22 Cathedral Road Cardiff CF11 9LJ	Construct seven dwellings and associated works, including the creation of a one-way system to serve the development Land At Grid Ref 317269 196829 Coronation Road East Lane Blackwood

APPLICATION TYPE: Full Application

SITE AND DEVELOPMENT

Location: The application site is located on land to the rear of Gordon Road and Coronation Road, Blackwood.

Site description: Vacant parcel of land within settlement. Currently overgrown vegetation and off-street parking area.

Development: It is proposed to redevelop the land for seven dwellings, to include five two-storey dwellings, and two one-bedroom flats. The site is laid out with the five proposed houses facing east onto the lane that serves the site with off-street parking to the front. The two proposed flats are contained within a single two storey building that faces west, again, with parking to the front.

The development also proposes a one-way system along the rear lane that serves the site. Access will be gained off Gordon Road, and vehicles will exit onto Coronation Road. A separate traffic order application will be required to facilitate this one-way system, and the development will be subject to such a successful traffic order application. This will be controlled by way of a Grampian condition.

Dimensions: Plots 1 & 2 (the two flats) have a footprint that measures 8.1 metres in width, 8.9 metres in depth, with a height of 8.1 metres to ridge level;
Plots 3-5 (three x two-bedroom houses) have a footprint that measures 17.7 metres in width, 8.2 metres in depth, with a height of 8.6 metres to ridge level;
Plots 6 & 7 (a two-bedroom house and a three-bedroom house) has a footprint that measures 11.0 metres in width, 9.6 metres in depth, with a height of 8.6 metres to ridge level.

Cont'd....

Application No 17/1033/FULL Continued

Materials: Walls: Multi brown clay brick, dark brown plinth brickwork. Grey powder coated aluminium cladding.

Roof: Grey metal standing seam roof (zinc or similar powder coated), and integral solar panels.

Doors and windows: Grey composite.

Rainwater goods: Grey metal powder coated.

Ancillary development, e.g. parking: Twelve car parking spaces are proposed, along with a battery store building to serve the proposed flats.

PLANNING HISTORY 2005 TO PRESENT

None.

POLICY

LOCAL DEVELOPMENT PLAN

Site Allocation: The application site is located within the Settlement Boundary.

Policies: Policy SP6 (Place Making), CW2 (Amenity), CW3 (Design Considerations - Highways), CW6 (Trees, Woodland and Hedgerow Protection), CW11 (Affordable Housing Planning Obligation) as well as advice contained in Supplementary Planning Guidance LDP5 (Car Parking Standards).

NATIONAL POLICY Planning Policy Wales and TAN12: Design.

ENVIRONMENTAL IMPACT ASSESSMENT

Did the application have to be screened for an EIA? No.

Was an EIA required? Not applicable.

COAL MINING LEGACY

Is the site within an area where there are mining legacy issues? No.

CONSULTATION

Transportation Engineering Manager - No objection subject to conditions including a condition requiring creation of a one-way system by way of a traffic order.

Cont'd....

Application No 17/1033/FULL Continued

Head Of Public Protection - No objection subject to conditions requiring noise and dust mitigation during construction works.

Senior Engineer (Land Drainage) - No objection subject to land drainage condition.

Dwr Cymru - Provide advice to the developer.

CCBC Housing Enabling Officer - Requires the provision of 25% affordable housing onsite, i.e. 2 of the proposed dwellings.

The Coal Authority - No objection based on the submitted Geo Technical and Geo Environmental Report, and concludes that there is no risk to development from past mining.

Ecologist - No objection subject to conditions.

Blackwood Town Council – Object to the development because of their concerns about access to the site.

ADVERTISEMENT

Extent of advertisement: 67 neighbouring properties were consulted by way of letter and a site notice was displayed near the application site.

Response: 17 objection letters have been received to date and a petition has been received signed by 38 signatories.

Summary of observations: - Existing access inadequate to serve proposed development;

- Un-adopted access for refuse collection vehicles;
- Car cutting corner adjacent to the site which is privately owned;
- Danger to pedestrian using the lane;
- Detrimental impact on existing ecology onsite;
- Drainage issues in the area;
- Loss of community facility/play area/green space;
- Disruption during construction;
- Loss of privacy;
- Loss of light;
- Noise impact;
- Loss of community;
- Increased traffic will undermine existing boundary walls;

Cont'd....

Application No 17/1033/FULL Continued

- No street lighting on the rear lane;
- Damage to existing boundary wall of property adjacent to the entrance to the lane off Gordon Road;
- Existing spaces used by social services;
- Flooding of existing lane during heavy rainfall.
- Development it contrary to the Human Rights Act.

SECTION 17 CRIME AND DISORDER ACT

What is the likely effect of the determination of this application on the need for the Local Planning Authority to do all it reasonably can to prevent crime and disorder in its area?
Crime and disorder are not considered to be an issue for this application.

EU HABITATS DIRECTIVE

Does the development affect any protected wildlife species? Ecological surveys have been undertaken and fully assessed by the Council's Ecologist. Based on the findings of these surveys, no objection is raised by the Council's Ecologist subject to conditions.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

Is this development Community Infrastructure Levy liable? Yes, new residential dwellings are CIL liable. The site is located in the mid-range viability zone where the charge is £25 per square metre. The developer may benefit from a CIL exemption if the development is for the provision of affordable housing.

ANALYSIS

Policies: The application site is located within the Settlement Boundary and therefore the principle of development is acceptable subject to material planning considerations. In this instance those material considerations are as follows:

1. Impact on visual and residential amenity;
2. Impact on highway safety for pedestrians using the lane as well as vehicles;
3. Ecology.

AMENITY

Policy CW2 relates to Amenity and states:

"Development proposals must have regard for all relevant material planning considerations in order to satisfy the following requirements:
A - There is no unacceptable impact on the amenity of adjacent properties or land;

Cont'd....

Application No 17/1033/FULL Continued

B - The proposal would not result in over-development of the site and/or its surroundings;

C - The proposed use is compatible with surrounding land-uses and would not constrain the development of neighbouring sites for their identified land-use;

D - Where applicable, the viability of existing neighbouring land uses would not be compromised by virtue of their potential impact upon the amenity of proposed new residential development.

The application site is bounded to the north by the properties on Coronation Road, to the east by the lane that runs along the rear boundary of the properties along Lilian Road, and to the south by the properties on Fairfield Close. Along the western boundary of the site is a garage courtyard. The proposed dwellings are located at least 21 metres from any habitable room windows of the surrounding properties and the proposal therefore fully complies with Council adopted guidance in relation to privacy distances. A condition will be attached to the permission requiring the south facing windows of Plot 3 be obscurely glazed to protect the privacy of the properties to the south on Fairfield Close. Also, given the distance of the properties from the nearest residential properties, the development will not result in an unacceptable overbearing or overshadowing impact on any nearby properties. For these reasons the development is considered to be acceptable in residential amenity terms.

In terms of visual amenity, the proposed dwellings have been well designed in terms of their layout, massing and materials, and will result in an attractive development on the site. Given the site is bounded in all direction by existing residential development, the proposal represents an appropriate use of the land that is compatible with surrounding land uses. Each dwelling will benefit from adequate levels of off-street car parking as well as private amenity space, and based on this the proposal does not represent over-development of the site. Based on the above, the proposal is considered to accord with Policy CW2 of the Local Development Plan.

HIGHWAY SAFETY

The highway network that will serve the proposed development are the lanes that run to the rear of Lilian Road and Fairfield Close/BT telephone exchange. A significant element of the proposed development is the requirement, on the part of the developer, to create a one-way system, where entry is gained off Gordon Road, and a user of the lane would be required to exit onto Coronation Road. Whilst the development will generate additional traffic movements along these lanes, the creation of a one-way system will likely improve highway safety and cars will no longer meet along these sections of lane travelling in opposite directions. On this basis the Transportation Engineering Manager does not object to the proposal.

Cont'd....

Application No 17/1033/FULL Continued

Another consideration is the inability to provide a footpath linking the site to Gordon Road or Coronation Road, due to limited carriageway width. Whilst it is usually the case that such pedestrian footpaths are required to serve new development, in this instance, the inability to do so is not considered to warrant a refusal of planning permission. It is understood that the rear lane is already used on a regular basis by pedestrians, and the proposed development will not result in a significant number of additional pedestrian movements per day above this existing usage. Furthermore, the creation of a one-way system will improve pedestrian safety as users of the lane will only have to deal with vehicles coming from one direction. There will also be a requirement by way of condition that the lane from Gordon Road to the site is improved in the interests of highway safety, i.e. the introduction of a rumble strip at the entrance to the lane to slow vehicles down, and by placing several street lighting columns along the route of the proposed one-way system. This element will significantly improve the existing scenario for pedestrians using the lane in the evenings of winter months when it is dark. For these reasons, whilst it is accepted that this is not the ideal scenario, on balance, it is not considered to warrant a refusal of planning permission.

ECOLOGY

Ecological surveys of the site have been undertaken and assessed by the Council's Ecologist. On the basis of these surveys, no objection is raised to the proposal subject to conditions.

OTHER CONSIDERATIONS

Policy CW11 (Affordable Housing Planning Obligation) states that on site that accommodate 5 or more dwellings the provision of an element of affordable housing is required. For the Blackwood area that provision is 25% of the total number of houses proposed, which, in this case would account to 2 of the proposed dwellings. As the applicant is Pobl, i.e. an RSL, this requirement will be controlled by way of condition.

Comments from Consultees: No objection is raised subject to conditions and advice. Blackwood Town Council raise objection to the application on the basis that the highway network serving the site is inadequate, and has been addressed above.

Comments from public:

1. Existing access inadequate to serve proposed development - No objection is raised by the Transportation Engineering Manager subject to conditions, including the requirement to create a one-way system.
2. Inadequate access for refuse collection vehicles - Technical analysis has been undertaken of the suitability of the lane to accommodate refuse vehicles, as well as a trial undertaken by the Local Authority's Refuse collection section. The trial run way successful following the same route as the proposed one-way system.

Cont'd....

Application No 17/1033/FULL Continued

3. Car cutting corner adjacent to the site which is privately owned - The plans have been amended to exclude the small triangle of land and it has been demonstrated that vehicles can turn up the lane without cutting this corner, including refuse vehicles.
4. Danger to pedestrian using the lane - Whilst it is accepted that it would be preferable to provide a pedestrian footpath linking the site to Gordon Road, given the limited width of the lane this is not possible. However, given the likely limited increase in traffic, coupled with the lane already being used by pedestrian, along with the introduction of lighting and a one-way system this issue is not considered to warrant a refusal of planning permission. This view is supported by the Transportation Engineering Manager.
5. Detrimental impact on existing ecology onsite - Ecological surveys of the site have been undertaken and assessed by the Council's Ecologist. On the basis of these surveys, no objection is raised to the proposal subject to conditions.
6. Drainage issues in the area - A land drainage condition will be a requirement of any planning permission to ensure development does not have a detrimental impact on land drainage in the area. Foul drainage is a matter to be controlled by Dwr Cymru/Welsh Water who have raised no objection.
7. Loss of community facility/play area/green space - The site is currently overgrown and the scene of fly tipping. It does not appear to be a well used play facility.
8. Disruption during construction - As with all development there will be an element of disruption during works. However this is inevitable and not a justifiable reason to refuse planning permission. Conditions are recommended in respect of noise and dust control.
9. Loss of privacy - As discussed above, no windows in the proposed development are located within 21 metres of direct view of a window in surrounding existing properties. Therefore the development is acceptable in privacy terms.
10. Loss of light - Given the position of the proposed dwelling, they will not result in a significant overbearing or overshadowing impact on nearby properties.
11. Noise impact - Residential use of the land in a residential area is not an unacceptable impact in terms of noise impact.
12. Loss of community - It is unclear how the creation of new dwellings will impact on the existing community.
13. Increased traffic will undermine existing boundary walls - If damage is caused by vehicles this would be a private legal matter. An increase in the usage of the adopted lane should not undermine existing boundary walls.
14. No street lighting on the rear lane - This would be a requirement of any planning permission and would improve highway safety.
15. Damage to existing boundary wall of property adjacent to the entrance to the lane off Gordon Road - Damage caused by vehicles striking the wall would be a private legal matter.
16. Existing spaces used by social services - This would not warrant a refusal of planning permission.

Cont'd....

Application No 17/1033/FULL Continued

17. Flooding of existing lane during heavy rainfall - A land drainage solution to drain the proposed site would be a planning requirement.

18. Development is contrary to the Human Rights Act - This is a concern that is often raised but there is no conflict in this respect. The planning system by its very nature respects the rights of the individual whilst acting in the interests of the wider community. In this case it is clear that the development complies with the Council's guidance and policies.

Other material considerations: The application represents a good opportunity to provide seven new properties within the settlement boundary in a highly sustainable location. The application site is currently underused and reportedly linked with anti-social behaviour during the evening hours and also used for fly tipping.

The duty to improve the economic, social, environmental and cultural well-being of Wales, has been considered in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015. In reaching the recommendation below, the ways of working set out at section 5 of that Act have been taken into account, and it is considered that the recommendation is consistent with the sustainable development principle as required by section 8 of that Act.

RECOMMENDATION that Permission be GRANTED

This permission is subject to the following condition(s)

- 01) The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
REASON: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
- 02) The development shall be carried out in accordance with the following approved plans and documents:
Drawing Number: S.7544-200, One way system proposals to existing lane at rear of Coronation Road/Gordon Road (excluding proposed 1m footway shown) received 07.02.2018;
Site Location Plan received 30.11.2017;
Drawing: 2000-041, Proposed Elevations (2 person 1 bed flat) received 30.11.2017;
Drawing: 2000-042, Proposed Floor plans (Plots 3-5) received 30.11.2017;
Drawing: 2000-043, Proposed Floor plans (Plots 6&7) received 30.11.2017;
Drawing: 2000-044, Proposed Elevation (Plots 3-5) received 30.11.2017;

Cont'd....

Application No 17/1033/FULL Continued

Drawing: 2000-045, Proposed Elevation (Plots 6&7) received 30.11.2017;

Drawing: 2000-050, Proposed Site Plan received 30.11.2017.

REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.

- 03) Prior to the construction of the external surfaces of the development hereby approved details of the materials to be used, in electronic or printed format shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
REASON: In the interests of the visual amenity of the area.
- 04) Prior to the commencement of works on site a scheme of land and surface water drainage within the site shall be submitted to and agreed in writing by the Local Planning Authority. All works that form part of the agreed scheme shall be carried out before any part of the development to which it relates is occupied.
REASON: To ensure the development is served by an appropriate means of drainage.
- 05) Prior to the construction of the foundations of the development hereby approved details showing the finished floor levels of the buildings hereby approved in relation to a fixed datum point off-site shall be submitted to and approved in writing by the Local Planning Authority and the development shall be carried out in accordance with the approved details.
REASON: In the interests of the residential of the area.
- 06) Prior to the commencement of the development a scheme shall be submitted to and agreed in writing by the Local Planning Authority indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed in accordance with the approved details before the dwellings hereby approved are first occupied.
REASON: In the interests of the visual amenities of the area.
- 07) Prior to the development commencing on the construction of any roads, drainage, or buildings hereby approved a scheme for dust mitigation shall be submitted to and agreed in writing with the Local Planning Authority. Thereafter the agreed scheme shall be employed as necessary to deal with dust arising from construction works.
REASON: In the interests of the amenity of the area.

Cont'd....

Application No 17/1033/FULL Continued

- 08) Prior to the development commencing on the construction of any roads, drainage, or buildings hereby approved a scheme for noise mitigation shall be submitted to and agreed in writing with the Local Planning Authority. Thereafter the agreed scheme shall be employed as necessary to deal with noise arising from construction works.
REASON: In the interests of the amenity of the area.
- 09) No development or site or vegetation clearance shall take place until a detailed reptile survey has been carried out and the results of the survey, including an impact assessment and if necessary details of any proposed mitigation measures, have been submitted to and approved by the Local Planning Authority. The approved measures shall be carried out in accordance with the agreed details.
REASOPN: To ensure that reptiles are protected, in the interests of biodiversity.
- 10) The site/vegetation clearance associated with the development hereby approved shall not take place during the breeding season for birds, from March to August inclusive in any given year, unless otherwise agreed in writing by the Local Planning Authority.
REASON: To ensure that breeding birds are protected. All British birds, their nests and eggs (with certain limited exceptions) are protected by law under Section 1 of the Wildlife and Countryside Act 1981 (as amended) and the Countryside and Rights of Way Act 2000.
- 11) Unless otherwise agreed in writing with the Local Planning Authority, prior to the commencement of any vegetation or site clearance works, details of the retention and protection of hedgerows along the northern boundary of the site shall be submitted to the Local Planning Authority for approval. The approved details shall be complied with.
REASON: In the interest of biodiversity conservation and enhancement in accordance with Part 1 Section 6 of the Environment (Wales) Act 2016, and policy contained in Welsh Government's Planning Policy Wales (2016) and Tan 5 Nature Conservation and Planning (2009).

Cont'd....

Application No 17/1033/FULL Continued

- 12) Prior to the commencement of any works associated with the development hereby approved, a plan showing details of the provision of roosts and a means of access for bats in the new properties at Land at Coronation Road, Blackwood, shall be submitted to the Local Planning Authority for approval. The approved details shall be implemented before the new properties hereby approved are first occupied.
REASON: To provide additional roosting for bats as a biodiversity enhancement, in accordance with Part 1 Section 6 of the Environment (Wales) Act 2016, and policy contained in Welsh Assembly Government's Planning Policy Wales (2016) and Tan 5 Nature Conservation and Planning (2009).
- 13) Prior to the commencement of any works on site, details of the provision of nesting sites for bird species (House sparrow or Starling) in the new properties at Land at Coronation Road, Blackwood, shall be submitted to the Local Planning Authority for approval. The approved details shall be implemented before the new properties hereby approved are first occupied.
REASON: To provide additional nesting opportunities for birds as a biodiversity enhancement, in accordance with Part 1 Section 6 of the Environment (Wales) Act 2016, and policy contained in Welsh Government's Planning Policy Wales (2016) and Tan 5 Nature Conservation and Planning (2009).
- 14) The development shall not be occupied until the area indicated for the parking of vehicles has been laid out in accordance with the submitted plans and that area shall not thereafter be used for any purpose other than the parking of vehicles.
REASON: In the interests of highway safety.
- 15) No works shall commence on site until the implementation of a one way road traffic order running along the lanes serving the site, entering the proposed one-way system off Gordon Road and existing the one-way system onto Coronation Road, has been implemented and is in force.
REASON: In the interests of highway safety.
- 16) The proposed parking area as shown on the approved plans shall be completed in materials that shall have first been agreed in writing with the Local Planning Authority prior to occupation of any of the dwellings hereby approved.
REASON: In the interests of highway safety.

Cont'd....

Application No 17/1033/FULL Continued

- 17) The sections of highway serving the proposed development shall be improved in a manner that shall have first been agreed in writing with the Local Planning Authority prior to occupation of the dwellings hereby approved. These improvements shall include the creation of a 'rumble strip' on the junction of Gordon Road and the lane, and the introduction of street lighting columns.
REASON: In the interests of highway safety.
- 18) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that order with or without modification) the south facing windows of Plot 3, as shown on the submitted plans, shall be glazed with obscure glass and any replacement or repair shall only be with obscure glass.
REASON: In the interests of residential amenity.
- 19) The development shall not begin until a scheme for the provision of affordable housing as part of the development has been submitted to and agreed in writing by the Local Planning Authority. The affordable housing shall be provided in accordance with the agreed scheme. The scheme shall include:
- The numbers, type, tenure and location on the site of the affordable housing provision to be made, which shall consist of not less than one of the approved housing units.
 - The arrangements to ensure that such provision is affordable for both first and subsequent occupiers of the affordable housing, except where tenants exercise the Right to Acquire under the Housing Act 1996.
 - The occupancy criteria to be used for determining the identity of occupiers of the affordable housing and the means by which such occupancy criteria shall be enforced.
 - Where the development is not carried out by a Registered Social Landlord (RSL) the arrangements for the transfer of the constructed affordable housing to a Registered Social Landlord.
 - The timing of the construction of the affordable housing and its phasing in relation to the occupancy of the market housing (unless no market housing is provided within the development hereby approved).
- REASON: To ensure that affordable housing is provided in accordance with adopted Council policy.

Advisory Note(s)

The following policy(ies) of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 is/are relevant to the conditions of this permission: Policies CW2, CW3 and CW11.

DEFERRED FOR REASONS FOR REFUSAL



Agenda Item 5

Code No. and Date Received	Name and Address of Applicant	Description and Location of Proposed Development
18/0318/RET 02.05.2018	Mrs M Silcocks 2 Laburnum Houses St David's Avenue Woodfieldside Pontllanfraith Blackwood NP12 0PQ	Landscape garden to include the retention of the raised decking and balustrade 2 Laburnum Houses St David's Avenue Woodfieldside Pontllanfraith Blackwood NP12 0PQ

APPLICATION TYPE: Retain Development Already Carried Out

SITE AND DEVELOPMENT

Location: The application property is located on St David's Avenue, Woodfieldside.

House type: Two storey semi-detached cottage with sloping gardens to the front and rear.

Development: Full planning permission is sought to retain the raised decking platform forward of the principal elevation.

Dimensions: The raised decking measures 9.2 metres in width by 4.2 metres in depth and the outer edge of the decking is located approximately 1.07 metres off the sloping ground with a timber balustrade measuring 0.96 metres in height. This application is reported to committee as the applicant is related to an employee of this council.

Materials: Wooden decking and timber balustrade.

Ancillary development, e.g. parking: Landscaping works to the front garden.

PLANNING HISTORY 2005 TO PRESENT

None.

POLICY

LOCAL DEVELOPMENT PLAN

Site Allocation: The site is located within settlement limits.

Cont....

Application No. 18/0318/RET Continued

Policies: SP5 (Settlement Boundaries), SP6 (Place Making), CW2 (Amenity) and advice contained in the Local Planning Authority's adopted Supplementary Planning Guidance LDP 7: Householder Developments (January 2017).

NATIONAL POLICY Planning Policy Wales Edition 9 (November 2016) and TAN 12: Design (March 2016).

ENVIRONMENTAL IMPACT ASSESSMENT

Did the application have to be screened for an EIA? No.

Was an EIA required? Not Applicable.

COAL MINING LEGACY

Is the site within an area where there are mining legacy issues? Not applicable due to the nature of the application.

CONSULTATION

Senior Engineer (Land Drainage) - No adverse comments to make in respect of this application.

Rights Of Way Officer - No objection but the applicant should be made aware of the public right of way abutting the site.

ADVERTISEMENT

Extent of advertisement: The application was advertised by means of a site notice and two neighbours were notified by letter

Response: None.

Summary of observations: Not Applicable.

SECTION 17 CRIME AND DISORDER ACT

What is the likely effect of the determination of this application on the need for the Local Planning Authority to do all it reasonably can to prevent crime and disorder in its area?
There are no specific crime and disorder implications material to the determination of this application.

Cont....

Application No. 18/0318/RET Continued

EU HABITATS DIRECTIVE

Does the development affect any protected wildlife species? No.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

Is this development Community Infrastructure Levy liable? No the development is not CIL liable as there is no proposed increase in floor area.

ANALYSIS

Policies: The application has been considered in accordance with national planning guidance, local plan policies and supplementary planning guidance.

The application seeks planning permission to retain the decking and balustrade as constructed as a result of an enforcement investigation. The main considerations in the determination of this application is whether the decking is considered to be acceptable in terms of its scale and setting.

Policy CW2 sets out the criteria relating to amenity and the Local Authority's adopted Supplementary Planning Guidance LDP7: Householder Developments (2017) has a general presumption against development forward of the principal elevation, but guidance note 2 states that exceptions can be made where the context is appropriate.

In that respect the application property is located at a much higher level than St David's Avenue and is set back into the site with the garden sloping in a north-easterly to south-westerly direction. A considerable amount of occupiers along the lane spend the majority of their dwelling time within their front curtilages as the rear gardens are steeply sloping and unusable to a certain degree, furthermore the adjacent cottages to the north have tiered front gardens. Whilst the overall scale of the development introduces a new feature along this lane, the development is sufficiently set back and is subdued and neutral in colour. Nonetheless, the exposed void underneath the decking is clearly visible from the lane and does cause concern given that it measures approximately 1.07 metres in height above the sloping ground directly below it. However, on balance it is not considered reasonable to warrant refusal of the application on this basis as the development could be made acceptable by attaching appropriate conditions relating to a planting scheme to mitigate against the adverse impacts and soften the appearance of the overall structure.

Subject to the imposition of appropriate conditions to enhance the appearance of the structure within the street scene, the development is considered to comply with policy CW2 of the Caerphilly County Borough Local Development Plan up to 2021 (adopted November 2010).

Cont....

Application No. 18/0318/RET Continued

Comments from consultees: The Public Rights of Way Officer raised no objection but requested to attach advisory notes to any permission to advise the applicant that there is Public Right of Way adjacent to the application site. In this instance the development does not affect the Public Right of Way and as such these advisory comments are not required.

Comments from public: None

Other material considerations: None.

The duty to improve the economic, social, environmental and cultural well-being of Wales, has been considered in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015. In reaching the recommendation below, the ways of working set out at section 5 of that Act have been taken into account, and it is considered that the recommendation is consistent with the sustainable development principle as required by section 8 of that Act.

RECOMMENDATION that Permission be GRANTED

This permission is subject to the following condition(s)

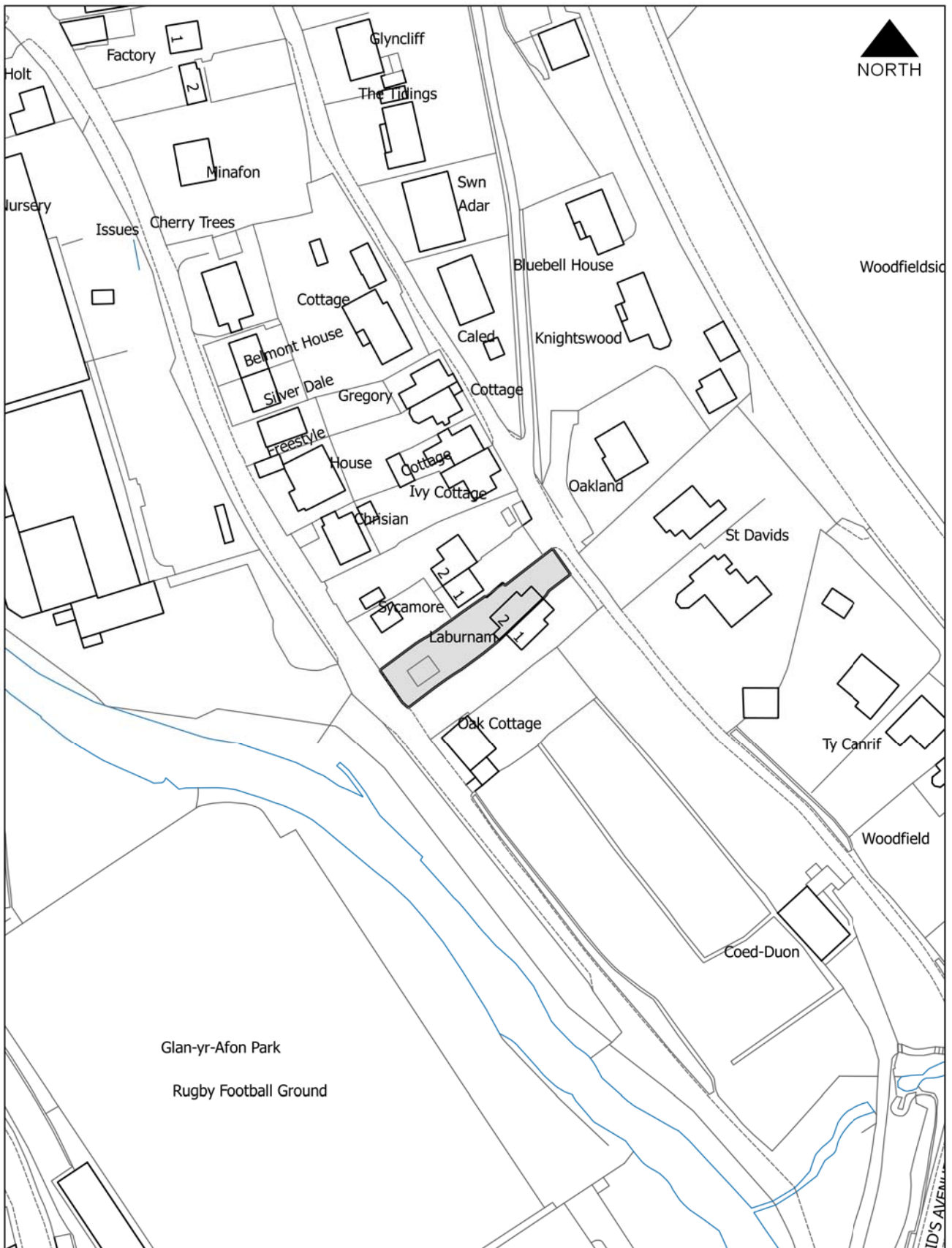
- 01) Notwithstanding the development hereby approved, within two calendar months from the date of this consent a scheme for the planting of a hedgerow to screen the decking void (planting scheme) shall be submitted to and agreed in writing by the Local Planning Authority.
REASON: In the interests of visual amenity.
- 02) The agreed planting scheme shall be carried out within three calendar months from the date that the submitted details have been agreed unless another timescale is agreed in writing with the Local Planning Authority.
REASON: In the interests of residential amenity.
- 03) Following the implementation of the approved planting scheme any plants which within a period of 5 years from their planting, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.
REASON: To ensure that the works are carried out as approved in the interests of the visual amenity of the area.

Cont....

Application No. 18/0318/RET Continued

Advisory Note(s)

The following policy(ies) of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 is/are relevant to the conditions of this permission:
CW2.



Agenda Item 6

Code No. and Date Received	Name and Address of Applicant	Description and Location of Proposed Development
18/0393/FULL 06.06.2018	Mr C Carpenter 20 Fflorens Road Treowen Newport NP11 3ED	Erect two storey extension to rear of property 20 Fflorens Road Treowen Newport NP11 3ED

APPLICATION TYPE: Full Application

SITE AND DEVELOPMENT

Location: The application property is located on the western side of Fflorens Road, Treowen.

House type: Two storey mid link property with elevated garden to the rear.

Development: Full planning permission is sought for the erection of a two storey rear extension.

Dimensions: The two storey rear extension measures 7.2 metres in width by 4.2 metres in depth with a height of 4.9 metres to the eaves and 7.4 metres to ridge height. The application is reported to Planning Committee because the agent is related to a member of staff in Planning.

Materials: Rendered blockwork, concrete roof tiles and upvc windows and doors to match existing.

Ancillary development, e.g. parking: None.

PLANNING HISTORY 2005 TO PRESENT

None.

POLICY

LOCAL DEVELOPMENT PLAN

Site Allocation: The site is located within settlement limits.

Cont....

Application No. 18/0393/FULL Continued

Policies: SP5 (Settlement Boundaries), SP6 (Place Making), CW2 (Amenity), CW15 (General Locational Constraints) and advice contained within the Local Planning Authority's Adopted Supplementary Planning Guidance LDP7: Householder Developments.

NATIONAL POLICY Planning Policy Wales Edition 9 (November 2016) and TAN 12: Design (March 2016).

ENVIRONMENTAL IMPACT ASSESSMENT

Did the application have to be screened for an EIA? No.

Was an EIA required? Not Applicable.

COAL MINING LEGACY

Is the site within an area where there are mining legacy issues? The site is not located within an area where a coal mining report is required, however standing advice will be provided.

CONSULTATION

Ecologist - No comments received at the time of writing the report.

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Extent of advertisement: A site notice was not required in this instance however five neighbours were notified by letter.

Response: None.

Summary of observations: Not Applicable.

SECTION 17 CRIME AND DISORDER ACT

What is the likely effect of the determination of this application on the need for the Local Planning Authority to do all it reasonably can to prevent crime and disorder in its area? There are no specific crime and disorder implications material to the determination of this application.

EU HABITATS DIRECTIVE

Does the development affect any protected wildlife species? Based on current evidence, this is unlikely to be a significant issue in this case, but an advisory note will be attached to the consent and sent to the applicant as a precautionary measure.

Cont....

Application No. 18/0393/FULL Continued

COMMUNITY INFRASTRUCTURE LEVY (CIL)

Is this development Community Infrastructure Levy liable? No the development is not CIL liable as the proposal intends to create less than 100 square metres of additional floor space.

ANALYSIS

Policies: This application has been considered in accordance with national policy and guidance, local plan policy and supplementary planning guidance. In design terms, the proposed two storey extension is considered to be acceptable in terms of its fenestration, roof design and materials. Therefore the main issues in the determination of this planning application is the scale of the proposed development, whether there is any adverse impact in terms of amenity to the neighbouring occupiers and its impact on the character of the surrounding area.

With regards to the above, Policy CW2 sets out the criteria relating to amenity. In terms of the impact that the development would have upon the neighbouring dwellings, advice contained within Supplementary Planning Guidance LDP7: Householder Developments is of relevance. In particular, Guidance Note 2 of Supplementary Planning Guidance LDP7: Householder Developments (2017) states: -

"Extensions and conservatories should not cast large shadows onto neighbour's houses or gardens. As a general rule single storey extensions near to a ground floor window of any principal room in an adjoining property, should be no longer than 4 metres, whilst two-storey extensions in the same circumstances should be no longer than 2 metres. A 'principal room' can be defined as one of the main rooms of a house, such as a living room, main bedroom and dining room.' Unless the context allows otherwise, those dimensions could be increased to a maximum of 6 metres and 4 metres respectively, where the extension does not breach a line taken at 45 degrees from the centre of the nearest ground floor window of any principal room in an adjoining property, and it would not have an overbearing effect or an adverse impact on outlook."

The ground floor element of the two storey extension projects 4.2 metres in depth from the rear wall of the dwelling. In this respect the ground floor element measures 0.2 metres in depth more than what can be built under permitted development. Taking into consideration the height of the boundary wall between no.20 and 22 and the existing single storey extension at no.18. The ground floor element of the proposal is considered to be acceptable.

In terms of the first floor element, this projects 4.2 metres in depth from the rear elevation of the dwelling and is set in off the boundary between no.22 and no.18 by 0.9 metres. The centre point of the nearest room window of the adjoining properties is the first floor bedroom window of no. 22, however as stated above there is a boundary wall dividing these properties which when measured from the ground level of no.20 is almost at cill level height of the first floor windows (3.6 meters). Furthermore no.20 is approximately 0.8 metres lower in height than no.22.

Cont....

Application No. 18/0393/FULL Continued

Whilst it is accepted that the first floor element of the proposed two storey extension interferes with the theoretical 45 degree line for the lounge and bedroom windows of no.22 and the first floor bedroom of no.18, regard must be given to the boundary wall, the difference in levels and the ground floor extension and two storey extension beyond at no.18. Taking into consideration that any development at first floor level would have a similar impact for the occupiers of no.22 to a ground floor extension commensurate with permitted development had the existing boundary wall not been in place, and the centre of the first floor habitable room window of no.18 is approximately 3.7 metres away from the adjoining party wall, it is not considered that there would be any significant adverse impact upon the amenity of the neighbouring occupiers to warrant a refusal of this application.

In terms of the impact that the development will have on the character of the surrounding area, it is considered that the proposed two storey extension will integrate well with the host dwelling and street scene subject to a condition imposed to any permission ensuring matching materials are used in the external surfaces of the development. Subject to the above, the proposed two storey extension accords with Policy CW2 of the Caerphilly County Borough Local Development Plan up to 2021 (adopted November 2010).

Comments from consultees: None.

Comments from public: None.

Other material considerations: None.

The duty to improve the economic, social, environmental and cultural well-being of Wales, has been considered in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015. In reaching the recommendation below, the ways of working set out at section 5 of that Act have been taken into account, and it is considered that the recommendation is consistent with the sustainable development principle as required by section 8 of that Act.

RECOMMENDATION that Permission be GRANTED

This permission is subject to the following condition(s)

- 01) The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
REASON: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.

Cont....

Application No. 18/0393/FULL Continued

- 02) The development shall be carried out in accordance with the following approved plans and documents:
Site Location Plan received on 06.06.2018;
Drawing No.2 As received on 18.05.2018;
Drawing No.3 As received on 18.05.2018.
REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.
- 03) The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those of the existing building.
REASON: In the interests of the visual amenities of the area.
- 04) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that order) with or without modification, no windows or dormer windows, other than those expressly authorised by this permission, shall be constructed without the approval of the Local Planning Authority.
REASON: In the interests of residential amenity.

Advisory Note(s)

The following policy(ies) of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 is/are relevant to the conditions of this permission: CW2.

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at: www.gov.uk/government/organisations/the-coal-authority.

Please also be advised that works should not take place that will disturb nesting birds from March to July inclusive. All British birds (while nesting, building nests and sitting on eggs), their nests and eggs (with certain limited exceptions) are protected by law under Section 1 of the Wildlife and Countryside Act 1981 (as amended) and the Countryside and Rights of Way Act 2000. If birds are nesting on/in or within the vicinity of the proposed development, work should be undertaken outside the breeding season for birds to ensure their protection, i.e. works should only be undertaken between August and February. Further advice on the above can be sought from the local authority ecologists (01495 235253) or Natural Resources Wales (NRW) (029 20 772400).

Cont....

Application No. 18/0393/FULL Continued

Many species of bat depend on buildings for roosting, with each having its own preferred type of roost. Most species roost in crevices such as under ridge tiles, behind roofing felt or in cavity walls and are therefore not often seen in the roof space. Bat roosts are protected even when bats are temporarily absent because, being creatures of habit, they usually return to the same roost site every year. Bats are protected under The Conservation of Habitats and Species Regulations 2010 (as amended), which implements the EC Directive 92/43/EEC in the United Kingdom, and the Wildlife and Countryside Act 1981 (as amended). Please be advised that, if bats are discovered, all works should stop immediately and Natural Resources Wales (NRW) should be contacted for advice on any special precautions before continuing.



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Agenda Item 7

Code No. and Date Received	Name and Address of Applicant	Description and Location of Proposed Development
18/0429/FULL 14.05.2018	Mr S Howell 4 The Glade Wyllie Blackwood NP12 2HB	Improve existing road with additional parking spaces for residents of Pleasant View and erect four new build 4-bedroom detached dwellings Land At Grid Ref 319863 198707 Pleasant View South Lane Croespenmaen

APPLICATION TYPE: Full Application

SITE AND DEVELOPMENT

Location: The application site is located to the rear of Pleasant View, Croespenmaen.

Site description: Vacant parcel of land accessed off the rear lane that serves the properties along Pleasant View.

Development: It is proposed to erect four detached dwellings.

Dimensions: Plots 1 - 3 are the same proposed house type that are split level with parking at basement level and measure 10.7 metres in width, 8.4 metres in depth, with a height of 11.5 metres to ridge level.
Plot 4 measures 10.9 metres in width, 12.4 metres in depth, with a height of 8.8 metres to ridge level.

Materials: Walls: Cedar cladding, fibre cement panels and brickwork;
Roof: Cambrian interlocking slates;
Doors and windows: Powder coated aluminium and hardwood.

Ancillary development, e.g. parking: Access widening and improved visibility, lane resurfacing and widening, and the provision of 17 off-street parking spaces to serve the existing dwellings that back onto the site.

PLANNING HISTORY 2005 TO PRESENT

17/0087/FULL - Improve existing road with additional parking spaces for residents of Pleasant View and erect four new build 4-bedroom detached dwellings. Refused 15.05.2017.

Cont....

Application No. 18/0429/FULL Continued

POLICY

LOCAL DEVELOPMENT PLAN

Site Allocation: The site is located within the Settlement Boundary.

Policies: Policy SP5 (Settlement Boundaries), SP6 (Place Making), CW2 (Amenity), CW3 (Design Considerations - Highways), CW4 (Natural Heritage Protection), CW5 (Protection of the Water Environment).

NATIONAL POLICY Planning Policy Wales and TAN12 (Design).

ENVIRONMENTAL IMPACT ASSESSMENT

Did the application have to be screened for an EIA? No.

Was an EIA required? Not applicable.

COAL MINING LEGACY

Is the site within an area where there are mining legacy issues? A Coal Mining Risk Assessment report was submitted with the planning application. Based on this report the Coal Authority raise no objection to the proposal subject to the imposition of a Condition requiring an intrusive site investigation to be undertaken to inform any potential remedial measures that may be necessary to facilitate the development.

CONSULTATION

Rights Of Way Officer - Raises objection based on the position of Plot 1 in relation to Bridleway 127. This issue is discussed elsewhere in the report.

Transportation Engineering Manager - No objection subject to conditions.

Senior Engineer (Land Drainage) - No objection subject to land drainage condition.

Dwr Cymru - Provide advice to the developer.

Head Of Public Protection - No objection subject to conditions.

Ecologist - No objection subject to conditions.

Cont....

Application No. 18/0429/FULL Continued

Landscape Architect - Provides advice regarding himalayan balsam on site, trees, site levels and hard/soft landscaping.

The Coal Authority - No objection subject to an intrusive site investigation being required by condition.

ADVERTISEMENT

Extent of advertisement: 32 neighbouring properties were consulted by way of letter and a site notice was displayed near the application site.

Response: Two objection letters were received.

Summary of observations:

- Loss of parking area for residents during construction works;
- Loss of existing trees;
- Impact on right of way;
- Inadequacy of lane serving the site;
- Damage to existing properties during works;
- Exhaust fumes from car parking to rear of existing properties;
- Parking pressure on proposed communal area from proposed houses.

SECTION 17 CRIME AND DISORDER ACT

What is the likely effect of the determination of this application on the need for the Local Planning Authority to do all it reasonably can to prevent crime and disorder in its area?
Crime and disorder are not considered to be an issue for this application.

EU HABITATS DIRECTIVE

Does the development affect any protected wildlife species? No.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

Is this development Community Infrastructure Levy liable? Yes, new residential dwellings in the Mid-Range Viability zone. The rate per square metre in this area is £25.

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ANALYSIS

Policies: The planning application site is located within the settlement boundary as defined in the Adopted Caerphilly County Borough Local Development Plan, and therefore the presumption is in favour of development providing material planning considerations do not indicate otherwise. In this instance those material planning considerations are the impact of the proposal on the visual amenity of the surrounding area; the impact on the residential amenity of nearby existing properties; and the impact on highway safety.

In terms of the impact on the visual amenity of the area, the existing area where Plots 1-3 will be sited is overgrown and the site of some form of quarrying in the past. Therefore there are significant levels differences from the front to the back of the site. It is considered that the proposed dwellings, that are split level incorporating an integral garage at basement level, represent a high quality development that will improve the visual amenity of this parcel of land. High specification materials are proposed that will be beneficial to the visual amenity of the area. Plot 4, which is sited further along the existing back lane, will also be constructed using high specification materials that will enhance the currently overgrown and unmanaged parcel of land off the back lane. For these reasons it is considered that the proposed dwelling are acceptable in visual terms and comply with the relevant criteria contained in Policy CW2 of the Adopted Caerphilly LDP.

In terms of the potential impact on the amenity of nearby residential properties, the nearest property to Plots 1-3, is No. 16 Pleasant View, which is located approximately 11 metres to the north of the proposed Plot 3. However, this existing property has no rear windows and therefore the development will not impinge on privacy. There is a west facing first floor window in No. 16 Pleasant View, but due to the angle between this window and those proposed at Plot 3, there will be no overlooking issues as a result of the development.

Plot 4 is located approximately 13 metres to the south of Nos. 5-8 Pleasant View. However, as plot 4 faces west, there are limited overlooking issues. A north facing first floor bedroom window is proposed serving bedroom 3, however, this room could also be served by a west facing clear window, and therefore a condition will be attached to the permission requiring the north facing window serving Bedroom 3 to be obscurely glazed. This obscure glazing will achieve the required level of privacy. Based on the above considerations, the development accords with Policy CW2 in terms of having an acceptable impact on the amenity of existing properties.

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Policy CW3 of the Adopted Local Development Plan relates to parking provision and highway safety. At present the lane to the rear of Pleasant View is narrow and of a poor standard. The proposed development includes upgrading the section of the lane from the access point up to Plot 4. As well as a new surface, the lane will be widened and a turning head to serve refuse vehicles in proposed. These works will significantly improve the quality of the lane for existing and proposed residents. The access to the lane off Kendon Hill is also to be widened and improved, with the necessary visibility splays being achieved. Again, this will be a significant improvement in highway safety terms. At present, residents of Pleasant View utilise left over spaces off the lane as parking areas. The proposed development proposes to formalise off-street parking for existing residents and provide 17 off-street parking spaces to serve the existing residents. This element represents another significant improvement in highway safety terms. For these reasons, the proposed development accords with Policy CW3 of the Adopted Caerphilly LDP.

Comments from consultees: No objection subject to conditions and advice.

The Rights of Way Officer raises objection on the basis that Plot 1 is sited on the line of Bridleway 127. However, the line of this right of way cut through a steep embankment and doesn't appear to have been capable of utilisation for a considerable period of time. With this in mind, the applicant is invited to enter into discussions with the Local Planning Authority to divert this right of way. The obvious solution appears to be formalising the public right of way from the site to the south at the point of the proposed turning head to serve the site. This appears to be the desire line from the housing development to the south and the bus stop on Kendon Hill at present. Further discussions will be undertaken between the time of this report and the Planning Committee.

Comments from public:

1. Loss of parking area for residents during construction works -There will inevitably be an element of disruption to existing residents during works. With this in mind a Construction Traffic Management Plan will be required by way of Condition to limit disruption as much as is practicable.
2. Loss of existing trees - The trees onsite are not protected by Tree Preservation Orders. It is considered that the scheme will lead to an improvement in terms of the visual amenity of this parcel of land. A condition will be attached to the permission requiring details of landscaping. There was a large tree to the west of the application site, and this large tree was removed between 2014 and 2017.
3. Impact on right of way - This issue has been addressed above in the Comments of consultees section.
4. Inadequacy of lane serving the site - The proposed development includes upgrading the standard of the lane both in terms of width and surfacing. Therefore the proposal is considered to represent an opportunity to significantly improve the standard of the lane.

Cont....

Application No. 18/0429/FULL Continued

5. Damage to existing properties during works - Any damage caused during works would be a private legal matter.
6. Exhaust fumes from car parking to rear of existing properties - Formal replacement parking provision is in line with the currently available parking areas.
7. Parking pressure on proposed communal area from proposed houses - Each of the proposed dwellings has car parking provision proposed in accordance with the adopted Car Parking Standards. Therefore this is not considered to be an issue.

Other material considerations: The proposal represents an excellent opportunity to provide 4 new dwellings within the settlement boundary which will contribute to the Council's housing land supply thereby reducing pressure on greenfield sites.

The duty to improve the economic, social, environmental and cultural well-being of Wales, has been considered in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015. In reaching the recommendation below, the ways of working set out at section 5 of that Act have been taken into account, and it is considered that the recommendation is consistent with the sustainable development principle as required by section 8 of that Act.

RECOMMENDATION that Permission be GRANTED

- 01) The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
REASON: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
- 02) The development shall be carried out in accordance with the following approved plans and documents:
Drawing No: 161202/AR/PL/202, Location Plan & Site Plan - Proposed Layout, received 04.07.2018;
Drawing No: 161202/AR/PL/211, Plot 1 Floor Plans & Elevations - Proposed, received 10.05.2018;
Drawing No: 161202/AR/PL/212, Plot 2 Floor Plans & Elevations - Proposed, received 10.05.2018;
Drawing No: 161202/AR/PL/213, Plot 3 Floor Plans & Elevations - Proposed, received 10.05.2018;
Drawing No: 161202/AR/PL/214, Plot 4 Floor Plans & Elevations - Proposed, received 10.05.2018;
Drawing No: 161202/AR/PL/311 Revision P01, Site Sections 01 - Proposed, received 05.07.2018;
Drawing No: 161202/AR/PL/312, Site Section 02 - Proposed, received 10.05.2018.
REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.

Cont....

Application No. 18/0429/FULL Continued

- 03) Prior to the commencement of works on site a scheme of land and surface water drainage within the site shall be submitted to and agreed in writing by the Local Planning Authority. All works that form part of the agreed scheme shall be carried out before any part of the development to which it relates is occupied.
REASON: To ensure the development is served by an appropriate means of drainage.
- 04) Prior to the construction of the foundations of the development hereby approved details showing the finished floor levels of the buildings hereby approved in relation to a fixed datum point off-site shall be submitted to and approved in writing by the Local Planning Authority and the development shall be carried out in accordance with the approved details.
REASON: In the interests of the visual of the area.
- 05) Prior to the construction of the external surfaces of the development hereby approved details of the materials to be used, in electronic or printed format shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
REASON: In the interests of the visual amenity of the area.
- 06) Prior to the commencement of the development a scheme depicting hard and soft landscaping shall be submitted to and agreed in writing by the Local Planning Authority. The agreed details shall be carried out in the first planting and/or seeding season following the occupation of the development of the development. Any trees or plants which within a period of 5 years from the completion of the development die or are removed, or become seriously damaged or diseased, shall be replaced in the next planting season with others of similar size and species unless the Local Planning Authority gives written consent to any variation.
REASON: In the interests of the visual amenity of the area.
- 07) Prior to the commencement of the development a scheme shall be submitted to and agreed in writing by the Local Planning Authority to deal with the contamination of the site. That scheme shall include a ground investigation and a risk assessment to identify the extent of the contamination and the measures to be taken to avoid risk to the occupants of the development when the site is developed. The development shall be carried out in accordance with the approved scheme.
REASON: In the interests of public health.
- 08) No building approved by this permission shall be occupied or approved uses commence until a report has been submitted to and approved in writing by the Local Planning Authority which verifies that the required works have been undertaken in accordance with the remediation strategy.
REASON: To protect public health.

Cont....

Application No. 18/0429/FULL Continued

- 09) Before any soils or hardcore that do not fall within the green category set out in Table 2 of the WLGA document 'Requirements for the Chemical Testing of Imported Materials for Various End Uses and Validation of Cover Systems 2013' are brought on to site, a scheme for their importation and testing for contamination shall be submitted to and agreed in writing with the Local Planning Authority. The development shall thereafter be carried out in accordance with the approved scheme.
REASON: To prevent contamination of the application site in the interests of public health.
- 10) Prior to the development commencing on the construction of any roads, drainage, or buildings hereby approved a scheme for dust mitigation shall be submitted to and agreed in writing with the Local Planning Authority. Thereafter the agreed scheme shall be employed as necessary to deal with dust arising from construction works.
REASON: In the interests of the amenity of the area.
- 11) Prior to the development commencing on the construction of any roads, drainage, or buildings hereby approved a scheme for noise mitigation shall be submitted to and agreed in writing with the Local Planning Authority. Thereafter the agreed scheme shall be employed as necessary to deal with noise arising from construction works.
REASON: In the interests of the amenity of the area.
- 12) Prior to the commencement of the development a scheme shall be submitted to and agreed in writing by the Local Planning Authority indicating full engineering details of the road layout with sections, street-lighting and surface water drainage and a detailed programme for the provision of the proposed highways. The development shall be carried out in accordance with the agreed details.
REASON: In the interests of highway safety.
- 13) Prior to the occupation of the development hereby approved the proposed means of access shall be laid-out, constructed and maintained thereafter, with vision splays of 2.4 metres x 45 metres. No obstruction or planting when mature exceeding 0.9 metres in height above the adjacent carriageway shall be placed or allowed to grow in the required vision splay areas.
REASON: In the interests of highway safety.
- 14) The proposed vehicular driveway shall have a minimum length of 5.5 metres and a maximum gradient not exceeding 12.5% (1 in 8). The driveway shall be constructed in permanent materials to be agreed in writing with the Local Planning Authority, shall be completed prior to occupation of the development hereby approved and maintained thereafter free of obstruction for the parking of motor vehicles only.
REASON: In the interests of highway safety.

Cont....

Application No. 18/0429/FULL Continued

- 15) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking or re-enacting that order, with or without modification), the garages hereby approved shall not be physically altered or converted to any other domestic purpose without the prior approval of the Local Planning Authority. The garages shall be made available at all times for the parking of motor vehicles associated with the residential use of the dwellings hereby approved.
REASON: In the interests of highway safety.
- 16) Notwithstanding the submitted plans, prior to the commencement of any work involving the construction of retaining walls on site full engineering details and structural calculations for the proposed retaining walls, together with certification from an independent chartered civil or structural engineer that the proposals are structurally adequate and fit for their intended purpose shall be submitted to and agreed by the Local Planning Authority. Following construction of the agreed retaining walls additional certification from an independent chartered civil or structural engineer confirming that the works have been constructed in an appropriate manner and that they are physically fit for their intended purpose shall be supplied to the Local Planning Authority prior to occupation of the approved development.
REASON: In the interests of highway safety.
- 17) Prior to any works commencing on site (including any demolition works) a Construction Traffic Management Plan (CTMP) shall be submitted to and agreed in writing with the Local Planning Authority. The TMP shall specify the size of vehicles which shall be used for both exporting materials and for the delivery of construction materials, along with the routes to be used for deliveries and exportation, and the management of all staff parking during the works. The TMP shall be implemented in accordance with the agreed details for the duration of the works.
REASON: In the interests of highway safety.
- 18) The demolition or site vegetation clearance associated with the development hereby approved shall not take place during the breeding season for birds, from March to August inclusive in any given year, unless otherwise agreed in writing by the Local Planning Authority.
REASON: To ensure that breeding birds are protected. All British birds, their nests and eggs (with certain limited exceptions) are protected by law under Section 1 of the Wildlife and Countryside Act 1981 (as amended) and the Countryside and Rights of Way Act 2000.
- 19) No development or site/vegetation clearance shall take place until a detailed reptile Mitigation Strategy has been prepared by a competent ecologist and submitted for the approval of the Local Planning Authority. The approved measures shall be strictly complied with.
REASON: To ensure that reptiles are protected.

Cont....

Application No. 18/0429/FULL Continued

- 20) Prior to the commencement of works on site a Method Statement shall be submitted for approval to the Local Planning Authority detailing the treatment of Himalayan Balsam on site. The treatment of Himalayan Balsam shall be carried out in accordance with the approved details.
REASON: It is an offence under the Wildlife and Countryside Act 1981 (as amended) to "introduce plant or cause to grow wild any plant listed in Schedule 9 Part 2 of the Act". Himalayan Balsam (*Impatiens glandulifera*) is included within this schedule.
- 21) If any mature trees within the proposed site require felling or tree management work as part of the development hereby approved, a climbing inspection for bats shall be carried out before such works take place, and the results of the survey, together with details of any proposed mitigation measures shall be submitted for the approval of the Local Planning Authority. The development shall thereafter be carried out in accordance with the approved measures.
REASON: To ensure proper measures are taken to safeguard the habitat of protected species, in the interests of biodiversity.
- 22) Prior to the commencement of any works associated with the development hereby approved, a plan showing details of the provision of roosts and a means of access for bats on the new property at Land at Grid Ref 319863 198707, Pleasant View, Croespenmaen, shall be submitted to the Local Planning Authority for approval. The approved details shall be implemented before the new property hereby approved is first occupied.
REASON: To provide additional roosting for bats as a biodiversity enhancement, in accordance with Part 1 Section 6 of the Environment (Wales) Act 2016, and policy contained in Welsh Assembly Government's Planning Policy Wales (2016) and Tan 5 Nature Conservation and Planning (2009).
- 23) Prior to the commencement of any works on site, details of the provision of nesting sites for bird species (House sparrow, Swift, Starling or House martin) on the new property at Land at Grid Ref 319863 198707, Pleasant View, Croespenmaen, shall be submitted to the Local Planning Authority for approval. The approved details shall be implemented before the new property hereby approved is first occupied.
REASON: To provide additional nesting opportunities for birds as a biodiversity enhancement, in accordance with Part 1 Section 6 of the Environment (Wales) Act 2016, and policy contained in Welsh Government's Planning Policy Wales (2016) and Tan 5 Nature Conservation and Planning (2009).

Cont....

Application No. 18/0429/FULL Continued

- 24) Before any development commences the developer shall carry out an investigation of the underground strata (the results of which shall be submitted to the Local Planning Authority) in order to satisfy himself as to the stability of the site and the measures which should be taken to mitigate against the risk of subsidence. Details of the design of the foundations of the proposed building(s) and/or proposals for ground treatment shall take account of the result of the investigation and shall be submitted to and agreed with the Local Planning Authority before development commences. The foundations and/or ground treatment shall thereafter be completed in accord with such details as may be approved.
REASON: In the interests of health and safety.
- 25) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that order with or without modification) the north facing first floor window in Plot 4 shall be glazed with obscure glass and any replacement or repair shall only be with obscure glass.
REASON: In the interests of residential amenity.
- 26) Prior to its first occupation, the balcony to the rear of Plot 4 shall be fitted with a privacy screen to protect the amenity of the properties to the north of the site on Pleasant View. Details of the privacy screen shall have first been agreed in writing with the Local Planning Authority, and further to its installation, the screen shall be retained in place at all times.
REASON: In the interests of residential amenity.

Advisory Note(s)

The following policies of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 are relevant to the conditions attached to this consent: CW2 and CW3.



Agenda Item 8

Code No. and Date Received	Name and Address of Applicant	Description and Location of Proposed Development
18/0408/LA 16.05.2018	CCBC (Urban Renewal) Mr R Llewellyn Tredomen House Nelson Road Ystrad Mynach Hengoed CF82 7WF	Construct fifteen small business industrial units in three blocks with access roads and parking areas Land At Grid Ref 311486 207255 The Lawns Industrial Estate Rhymney

APPLICATION TYPE: Local Authority Application

SITE AND DEVELOPMENT

Location: The application site is on the western side of Wellington Way (B4257), to the south of the existing access to The Lawn Industrial Estate.

Site description: The site is flat, mainly laid to grass, with a number of small ornamental trees.

Development: It is proposed to erect fifteen small industrial units, in three blocks of five. Access would be from the existing industrial estate road, with two units on the western side of the site, and the other on eastern side overlooking the road. Each unit would have parking spaces to the front, providing a total of 30 spaces, four of which would be allocated for the disabled.

Dimensions: The site has an area of 0.69 hectares. The buildings would be 4.8 metres high to the apex of the pitched roofs. The two western units would have footprints of 15m by 25m. The eastern unit would be L-shaped in plan and would be 25m and 23m along its longer elevations.

Materials: The external walls would be finished in a mixture of brick and insulated colour coated metal panels, whilst the roofs would be colour coated aluminium.

PLANNING HISTORY 2005 TO PRESENT

None.

Cont....

Application No. 18/0408/LA Continued

POLICY

LOCAL DEVELOPMENT PLAN

Site Allocation: The site is part of a larger area incorporating the remainder of The Lawn, which is allocated for a mixture of retail development and community facilities (policy CM4.1), and for a health and social care resource centre, and for further education (policy CF1.2). A route safeguarded for a cycleway runs along the western side of the site (policy TR1.1)

Policies: SP1 (Development Strategy in the HOV Regeneration Area), SP4 (Settlement Strategy), SP17 (Promoting Commercial Development), SP21 (Parking Standards), CW1 (Sustainable Transport, Accessibility and Social Inclusion), CW2 (Amenity), CW3 (Design Considerations: Highways), CW15 (General Locational Constraints)

Supplementary Planning Guidance LDP5 Parking Standards.

NATIONAL POLICY Planning Policy Wales (2016) and Technical Advice Note (TAN) 23: Economic Development (2014)

ENVIRONMENTAL IMPACT ASSESSMENT

Did the application have to be screened for an EIA? Yes.

Was an EIA required? No.

COAL MINING LEGACY

Is the site within an area where there are mining legacy issues? Yes. This matter is discussed further below.

CONSULTATION

Glam/Gwent Archaeological Trust - The proposal will require archaeological mitigation. The application area was the site of part of the Rhymney Iron Works, specifically the Rhymney Lower Furnace. The following condition is recommended.

No development shall take place until the applicant, or their agents or successors in title, has secured agreement for a written scheme of historic environment mitigation which has been submitted by the applicant and approved by the local planning authority. Thereafter, the programme of work will be fully carried out in accordance with the requirements and standards of the written scheme.

REASON: To identify and record any features of archaeological interest discovered during the works, in order to mitigate the impact of the works on the archaeological resource.

Cont....

Application No. 18/0408/LA Continued

Principal Valuer - No objection.

The Coal Authority - Raises substantive concern because the application site falls within the defined Development High Risk Area; therefore within the application site and surrounding area there are coal mining features and hazards which need to be considered in relation to the determination of this planning application. The applicant needs to revise and resubmit the Desktop Study and Interpretative Ground Investigation Report to the LPA.

Landscape Architect - The embankment to the west of the site is vegetated and will need to be protected through the development so as to soften the visual impact of this development and maintain wildlife linkages through the area. The rear boundary of the site should be fenced off to prevent sprawl into these vegetated areas and fly tipping by the future tenants, but also needs to be accessible so that maintenance work can be undertaken by the council in the future. It is acknowledged that the fence needs to be robust, but a design that has a good aesthetic should be used here.

The existing planting to the entrance to the Lawns was grant funded. Establishing trees in this environment has proven to be a problem in the past, with poor ground conditions, exposure and vandalism. It may prove to be more effective to have a boundary hedge to the outside of any fence proposed, and tree planting within the units to contribute to the streetscape facing the B4257, whilst affording them some protection from vandalism. Soil may need to be imported in these areas to ensure adequate rooting quality and depth. Any existing trees that can be retained in this layout must be protected in line with BS 5837:2012.

The line of trees adjacent to the highway south east of the development must be protected in accordance with BS 5837:2012.

The front cover of the design & access statement implies that a fence will be installed to the rear of the footway. Currently the area is open and green. A fence in this location could adversely affect the amenity of the area and consideration should be given to allowing sufficient room between the fence and the public spaces to soften this harsh change to the environment. It may be advisable to allow some pedestrian access through the site, rather than deal with the vandalism that may result from disaffected pedestrians.

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Head Of Public Protection - The following conditions are recommended.

- The units shall be restricted to a B1 use class.
- Prior to the commencement of the development a scheme shall be submitted to and agreed in writing by the Local Planning Authority to deal with the contamination of the site. That scheme shall include a ground investigation and a risk assessment to identify the extent of the contamination and the measures to be taken to avoid risk to the occupants of the development when the site is developed. The development shall be carried out in accordance with the approved scheme.
REASON: In the interests of public health.
- Before any soils or hardcore are brought on to site a scheme for its importation and testing for contamination, shall be submitted to and agreed in writing with the Local Planning Authority. The development shall thereafter be carried out in accordance with the approved scheme.
REASON: To prevent contamination of the application site in the interests of public health.
- No building approved by this permission shall be occupied or approved uses commence until a report has been submitted to and approved in writing by the Local Planning Authority which verifies that the required works have been undertaken in accordance with the remediation strategy.
REASON: To protect public health.
- The use hereby permitted shall not be open to customers outside the following times:
08.00 hours to 18.00 hours Monday to Saturday, and
10.00 hours to 16:00 hours Sunday.
REASON: In the interests of residential amenity.
- Prior to the commencement of the development a scheme shall be submitted to and approved in writing by the Local Planning Authority for external site lighting including details of the lighting units, levels of illumination and hours of use. No lighting shall be provided at the site other than in accordance with the approved scheme.
REASON: In the interests of residential amenity.
- Unless otherwise agreed in writing with the local planning authority, prior to the commencement of the use hereby approved arrangements for the storage, collection and disposal of commercial waste shall be implemented in accordance with a scheme to be agreed in writing with the local planning authority.
REASON: In the interest of public health

Cont....

- Application No. 18/0408/LA Continued
- Prior to the development commencing on the construction of any roads, drainage, or buildings hereby approved a scheme for dust mitigation shall be submitted to and agreed in writing with the Local Planning Authority. Thereafter the agreed scheme shall be employed as necessary to deal with dust arising from construction works.
REASON: In the interests of the amenity of the area.
- Prior to the development commencing on the construction of any roads, drainage, or buildings hereby approved a scheme for noise mitigation shall be submitted to and agreed in writing with the Local Planning Authority. Thereafter the agreed scheme shall be employed as necessary to deal with noise arising from construction works.
REASON: In the interests of the amenity of the area.
- Prior to development commencing on site, details of all external and roof mounted plant/machinery associated with the application shall be submitted to and agreed in writing with the Local Planning authority. These details shall include the location of the plant and predicted noise levels (measured as a LAeq 1 hour) as measured on the boundary of the application site. Thereafter these agreed details shall be fully installed prior to the use of each of the units commencing.
- REASON: In the interests of residential amenity.

Senior Engineer (Land Drainage) –

1. The applicant has indicated the disposal of surface water via sustainable drainage system; however no/limited information has been submitted to consider the viability of this method of disposal of surface water.
2. The applicant has indicated the disposal of surface water via watercourse; however no/limited information has been submitted to consider the viability of this method of disposal of surface water.
3. The site is situated within an area susceptible to groundwater flooding.
4. The site is situated within an area susceptible to surface water flooding.
5. Records indicate there is a culverted watercourse, located in the vicinity of the proposed development. The applicant should undertake such survey work to satisfy themselves on the location of the underground apparatus i.e. drains or culverts and should any such structure be located, contact should be made to Land Drainage Department for further advice if required.
6. Where features are present these shall be retained and incorporated into the proposed layout. No structure should be built within a zone of 10 times the diameter of the pipe or 4 times the depth to invert (whichever is the greater).

Transportation Engineering Manager - No objection subject to conditions.

Cont....

Application No. 18/0408/LA Continued

Dwr Cymru - Have no objections but recommend the following conditions:

No building shall be occupied until the drainage system for the site has been completed in accordance with the approved details. Thereafter no further surface water and/or land drainage shall be allowed to connect directly or indirectly with the public sewerage system.

REASON: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

ADVERTISEMENT

Extent of advertisement: The application has been advertised on site, and in the press, and 2 neighbouring properties have been consulted.

Response: Two emails have been received raising the comments set out below.

Summary of observations:: There is already noise disturbance from the factory behind in the nights, will the proposed development aggravate the problem?

SECTION 17 CRIME AND DISORDER ACT

What is the likely effect of the determination of this application on the need for the Local Planning Authority to do all it reasonably can to prevent crime and disorder in its area?
This scheme will not cause any anti-social behaviour or other crime problems that would justify any special measures to be considered from a planning point of view.

EU HABITATS DIRECTIVE

Does the development affect any protected wildlife species? No.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

Is this development Community Infrastructure Levy liable? No.

ANALYSIS

Policies: The application site is within an area allocated for development, although not industrial units as proposed. However, the principle of development on this land has been accepted, and the proposal will not preclude the other forms of development taking place on the remainder of The Lawn. The proposal will help promote the Head of the Valleys area for employment and address problems such as deprivation (policy SP1). It will also help support Rhymney as a local centre (SP4 and CW15).

Cont....

Application No. 18/0408/LA Continued

The site is well related to the existing highway network, and also to the public transport routes. It is close to residential areas and so the development will be accessible by a number of modes of transport as well as the car (policy CW1). Parking facilities are adequate and are similar to those found at similar existing development throughout the borough (CW3). There is scope for incorporating the cycleway into the scheme.

The site is close to existing housing at Brynteg Crescent, Lady Tyler Terrace and Hill Street, and so consideration will have to be given to the limitation of the use and the hours of operation, which is considered further below (CW2).

Comments from Consultees: The matters raised by consultees can be addressed by condition, but further consideration should be given to the following. The Coal Authority has objected to the application and considers that revised studies need to be submitted. The information submitted so far does not show the location of a mine entry in the locality, so whilst the Authority states that it is unlikely that the entry or its zone of influence would extend up to the proposed built development, it is likely that the area to the south of Unit 2, including the hard surfaced car parking/vehicle turning area, is at potential risk of instability derived from the entry. Further work is also needed to identify risk associated with shallow mine workings. The applicant's borehole investigations did not identify any voids beneath the surface. From a planning point of view, the site is surrounded by development, and this matter can be resolved by condition, and it is for the applicant to carry out further studies and assure the Authority that the development will take adequate account of the ground conditions.

With regard to the conditions suggested by the Head of Public Protection, it would not be reasonable to restrict the use of the units to B1 only. A B1 use is:

- (a) an office other than a use within class A2 (financial and professional services),
 - (b) for research and development of products or processes, or
 - (c) for any industrial process,
- being a use which can be carried out in any residential area without detriment to the amenity of that area by reason of noise, vibration, smell, fumes, smoke, soot, ash, dust or grit.

It would be reasonable to include storage and distribution (B8 use) as well. The size of the units will restrict the extent of that use.

With regard to hours of operation, in view of the location of the site next to a relatively busy road, the starting time during the week could be 7.00 a.m. rather than 8.00 a.m.

Comments from public: The concerns of the local residents are addressed through the restriction of the use of the buildings and the hours of operation.

Cont....

Other material considerations:

The duty to improve the economic, social, environmental and cultural well-being of Wales, has been considered in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015. In reaching the recommendation below, the ways of working set out at section 5 of that Act have been taken into account, and it is considered that the recommendation is consistent with the sustainable development principle as required by section 8 of that Act.

RECOMMENDATION that Permission be GRANTED

This permission is subject to the following condition(s)

- 01) The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
REASON: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
- 02) A written scheme of historic environment mitigation shall be submitted to and agreed by the local planning authority prior to the commencement of work on site. Thereafter, the programme of work will be fully carried out in accordance with the requirements and standards of the written scheme.
Reason: To identify and record any features of archaeological interest discovered during the works, in order to mitigate the impact of the works on the archaeological resource.
- 03) No development shall take place until a site investigation has been carried out in accordance with a methodology first submitted to and approved in writing by the local planning authority. The results of the site investigation shall be submitted to the local planning authority before any development begins. If any land instability issues are found during the site investigation, a report specifying the measures to be taken to remediate the site to render it suitable for the development shall be submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with the agreed scheme.
REASON: To ensure the development is carried out in an appropriate manner taking account of ground conditions.

Cont....

Application No. 18/0408/LA Continued

- 04) Prior to the commencement of the development a scheme depicting hard and soft landscaping shall be submitted to and agreed in writing by the Local Planning Authority. Those details shall include:
- (a) Proposed finished ground levels or contours; means of enclosure; car parking layouts; other vehicle and pedestrian access and circulation areas; hard surfacing materials; minor structures including furniture, play equipment, refuse or other storage units; and
 - (b) Proposed and existing functional services above and below ground (e.g. drainage, power, communications cables, pipelines etc. indicating lines, manholes etc.); and
 - (c) Planting plans; written specifications (including cultivation and other operations associated with plant and grass establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate.
- The development shall be carried out in accordance with the agreed scheme and all planting, seeding, turfing/hard landscaping works comprised in the approved details of landscaping shall be carried out in the first planting season following the occupation of the buildings or the completion of the development, whichever is the sooner. Any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.
- REASON: In the interests of the visual amenity of the area.
- 05) The premises shall only be used for Class B1 and B8 purposes as defined by the Town and Country Planning (Use Classes) Order 1987, or as defined by any provision equivalent to that class in any statutory instrument revoking and re-enacting that order with or without modification, without the approval of the Local Planning Authority.
- REASON: In the interests of residential amenity.
- 06) Prior to the commencement of the development a scheme shall be submitted to and agreed in writing by the Local Planning Authority to deal with the contamination of the site. That scheme shall include a ground investigation and a risk assessment to identify the extent of the contamination and the measures to be taken to avoid risk to the occupants of the development when the site is developed. The development shall be carried out in accordance with the approved scheme.
- REASON: In the interests of public health.

Cont....

Application No. 18/0408/LA Continued

- 07) Before any soils or hardcore that do not fall within the green category set out in Table 2 of the WLGA document 'Requirements for the Chemical Testing of Imported Materials for Various End Uses and Validation of Cover Systems 2013' are brought on to site, a scheme for their importation and testing for contamination shall be submitted to and agreed in writing with the Local Planning Authority. The development shall thereafter be carried out in accordance with the approved scheme.
REASON: To prevent contamination of the application site in the interests of public health.
- 08) No building approved by this permission shall be occupied or approved uses commence until a report has been submitted to and approved in writing by the Local Planning Authority which verifies that the required works have been undertaken in accordance with the remediation strategy.
REASON: To protect public health.
- 09) No machinery shall be operated, no process shall be carried out and no deliveries taken at or dispatched from the site outside the following times 07.00 hours to 18.00 hours on Monday to Saturday, and 10.00 hours to 16:00 hours on Sunday.
REASON: In the interests of residential amenity.
- 10) Prior to the commencement of the development a scheme shall be submitted to and approved in writing by the Local Planning Authority for external site lighting including details of the lighting units, levels of illumination and hours of use. No lighting shall be provided at the site other than in accordance with the approved scheme.
REASON: In the interests of residential amenity
- 11) Prior to the commencement of the development hereby approved a scheme for the control of dust arising from the construction of the scheme shall be submitted to and agreed in writing with the Local Planning Authority. Thereafter the agreed scheme shall be implemented at all times to control dust at the site.
REASON: To prevent pollution.
- 12) Unless otherwise agreed in writing with the Local Planning Authority, prior to the commencement of the use hereby approved arrangements for the storage, collection and disposal of commercial waste shall be implemented in accordance with a scheme to be agreed in writing with the Local Planning Authority.
REASON: In the interest of public health.

Cont....

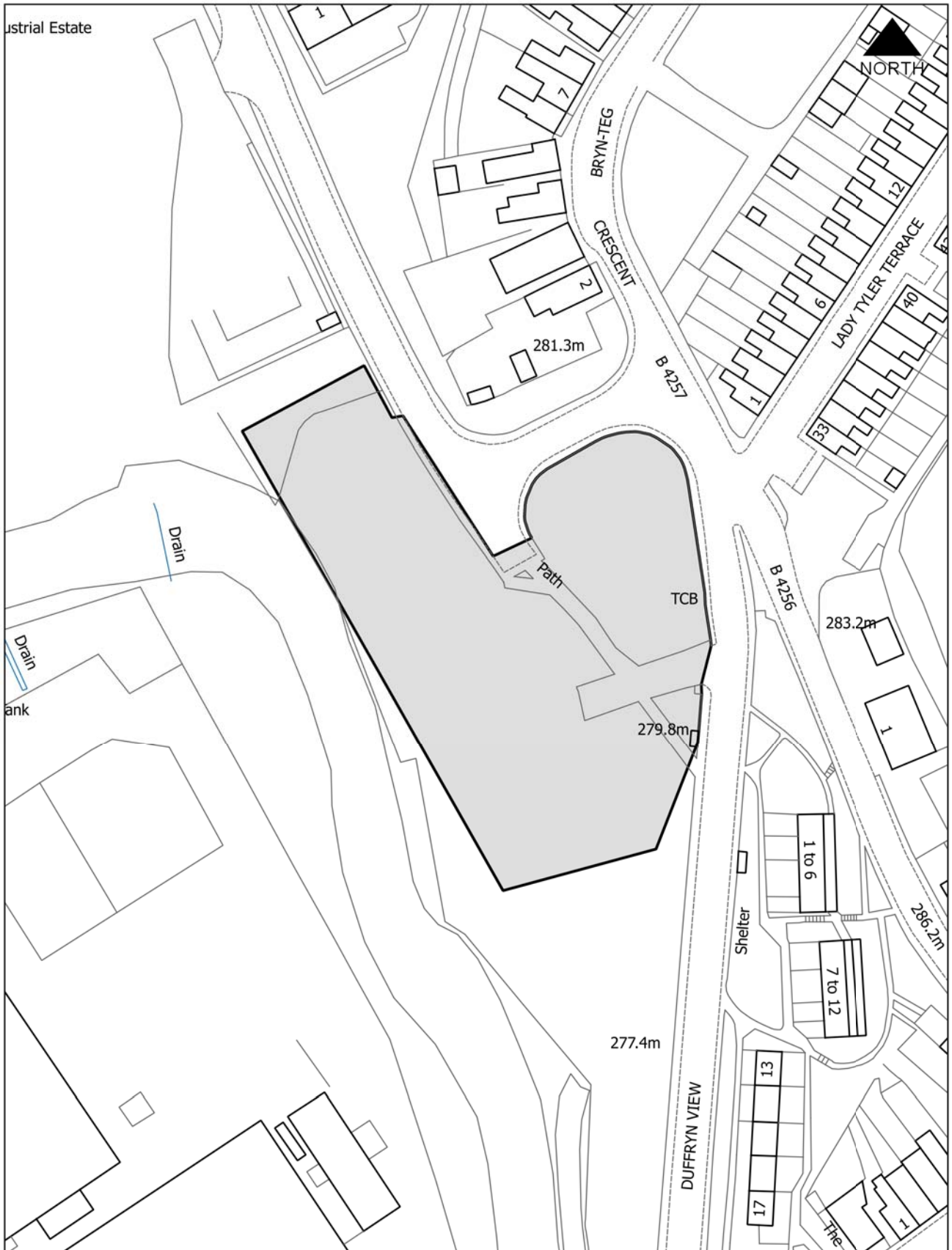
Application No. 18/0408/LA Continued

- 13) Prior to the development commencing on the construction of any roads, drainage, or buildings hereby approved a scheme for noise mitigation shall be submitted to and agreed in writing with the Local Planning Authority. Thereafter the agreed scheme shall be employed as necessary to deal with noise arising from construction works.
REASON: In the interests of the amenity of the area.
- 14) Prior to its installation details of any external or roof-mounted plant/machinery associated with the use of the development hereby approved shall be submitted to and agreed in writing with the Local Planning authority. Those details shall include the location of the plant and predicted noise levels (measured as a LAeq 1 hour) as measured on the boundary of the application site. Thereafter the agreed facilities shall be installed in accordance with the agreed details.
REASON: In the interests of residential amenity
- 15) Prior to the commencement of works on site a scheme of land and surface water drainage within the site shall be submitted to and agreed in writing by the Local Planning Authority. All works that form part of the agreed scheme shall be carried out before any part of the development to which it relates is occupied.
REASON: To ensure the development is served by an appropriate means of drainage.
- 16) The development shall not be occupied until the area indicated for the parking of vehicles has been laid out in accordance with the submitted plans and that area shall not thereafter be used for any purpose other than the parking of vehicles.
REASON: In the interests of highway safety.
- 17) The development shall be carried out in accordance with the following approved plans and documents: drawing numbers A001, A002, A005, A006, PL-01, PL-02, PL- 03, A003 (rev A), and A004 (rev A)
REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.

Advisory Note(s)

Please find attached the comments of Dwr Cymru/Welsh Water, Glamorgan Gwent Archaeological Trust, The Coal Authority, and Senior Engineer (Land Drainage) that are brought to the applicant's attention.

The following policy(ies) of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 is/are relevant to the conditions of this permission: Policies CW2 and CW3.



Agenda Item 9

Code No. and Date Received	Name and Address of Applicant	Description and Location of Proposed Development
18/0409/FULL 15.05.2018	Ty Sign Community Hall And Resource Centre Mr R Owen Holly Road Ty Sign Risca	Construct community hall and resource centre with associated car parking, access from Holly Road and garden space Land At Grid Ref 324887 190651 Holly Road Ty Sign Risca

APPLICATION TYPE: Full Application

SITE AND DEVELOPMENT

Location: The application site is located on the southern side of Holly Road.

Site description: Overgrown area of informal open space.

Development: Full planning permission is sought to erect a community hall and resource centre with associated car parking.

Dimensions: The building measures 20.2 metres in width by 14.6 metres in depth with a height of 3.1 metres to the eaves and 5.4 metres to ridge height.

Materials: Facing brick, concrete roof tiles, upvc windows and external timber doors protected by steel roller shutters.

Ancillary development, e.g. parking: 23 car parking spaces and 2 disabled car parking spaces are proposed.

PLANNING HISTORY 2005 TO PRESENT

None.

POLICY

LOCAL DEVELOPMENT PLAN

Site Allocation: The site is located within settlement limits, and is allocated as part of a larger site for informal recreation and community use (Policy LE5.20).

Cont....

Application No. 18/0409/FULL Continued

Policies: SP2 (Development Strategy - Development in the Southern Connections Corridor), SP5 (Settlement Boundaries), SP6 (Place Making), SP10 (Conservation of Natural Heritage), SP18 (Protection of Strategic Leisure Network), LE5 (Protection of Informal Open Spaces), CW2 (Amenity), CW3 (Design Considerations - Highways), CW6 (Trees, Woodland and Hedgerow Protection), CW7 (Protection of Open Space), CW8 (Protection of Community and Leisure Facilities), CW15 (General Locational Constraints) and advice contained within Supplementary Planning Guidance LDP5: Car Parking Standards.

NATIONAL POLICY Planning Policy Wales Edition 9 (November 2016) and TAN 12: Design (March 2016).

ENVIRONMENTAL IMPACT ASSESSMENT

Did the application have to be screened for an EIA? No.

Was an EIA required? Not Applicable.

COAL MINING LEGACY

Is the site within an area where there are mining legacy issues? The site is located within an area where there are no coal mining legacy issues.

CONSULTATION

Principal Valuer - Offers no comments in respect of this application.

CADW - Offers no comments in respect of this application.

Transportation Engineering Manager - No objection subject to conditions relating to the means of access, vision splays , boundary treatments and parking areas.

Head Of Public Protection - No objection subject to conditions relating to the storage and collection of waste, a scheme of foul drainage to include a grease trap, a scheme for scheme of odour / fume control and details of any plant machinery to be installed.

Senior Engineer (Land Drainage) - No objection subject to a scheme for land and surface water drainage within the site to be submitted.

Dwr Cymru - Provides advice to the developer but advises that no surface water and/or land drainage shall be allowed to connect directly or indirectly with the public sewerage network.

Cont....

Application No. 18/0409/FULL Continued

Senior Arboricultural Officer (Trees) - Provides advice to the developer.
Ecologist - No objection subject to conditions.

Landscape Architect - There is limited information regarding the proposed landscaping works.

ADVERTISEMENT

Extent of advertisement: The application was advertised by means of a site notice and 22 neighbours were notified by letter.

Response:

199 letters of representation were received objecting to the development.
37 letters of representation were received in favour of the development.
One petition was received containing 34 signatures in favour of the development.

Summary of observations:

FINANCIAL CONCERNS

The proposal will devalue properties.
The proposal will increase home and motor insurance premiums.
There is no detail explaining how the project will be funded.
The money could be spent more appropriately on something useful for the area.

SITE FEASIBILITY AND SUITABILITY IMPACTS

Waste of money and resources.
Adequate suitable unused properties within the area.
There is no uptake of other services offered within the area.
There is a need to build on brownfield land as opposed to greenfield land.
No feasibility study to show other sites have been considered.

SUSTAINABILITY IMPACTS

No sustainable operating plan to show how revenue can maintain or enhance the green space - contrary to sustainable development policies.
It is more sustainable to upgrade an existing building.

ENVIRONMENTAL IMPACTS

Wildlife and ecology will be lost as a result of the development.
The land was designated as a nature reserve and community garden.
The area is contaminated with Japanese Knotweed.
Concerns for the loss of the trees.

Cont....

Application No. 18/0409/FULL Continued

HIGHWAY SAFETY IMPACTS

The increase in traffic will lead to on-street parking problems.

The increase in traffic is likely to lead to accidents.

There is a desperate need to slow traffic down, not increase traffic movements.

There is insufficient car parking spaces for the usage and capacity.

AMENITY IMPACTS

Noise.

Contravenes article 8 of the Human Rights Act (right to respect for private and family life).

Disturbance of noise and traffic during construction phase.

No opening or closing times - weddings, social events go on late into the night.

Light pollution from vehicles late at night.

Loss of Privacy.

The rights of residents to enjoy their properties and possessions without being negatively impacted by such a development should outweigh the applicants' right to build.

SOCIAL IMPACTS

The land is currently used for dog walking.

The building will not benefit the local community.

There are enough social issues without adding more.

The proposal will generate vandalism

Takes away the rights of the communities

VISUAL AMENITY

This is a disguised church.

The siting, design and appearance is unsuitable for the Ty Sign landscape.

Loss of trees.

POLICY IMPACTS

The land is designated as LE5.20 (informal recreation and community use) in the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010.

The proposed use would undermine the Local Plan designation.

The employment opportunities do not meet with the objectives of policy SP22.

Cont....

Application No. 18/0409/FULL Continued

GENERAL COMMENTS

The church members are not from the local area.

Accusations regarding the church members and the related groups.

Very few people are aware of the proposal.

The applicants have provided limited/changing information.

The need for the community centre is being pursued by those who have no connection to area.

There is no information regarding the Pre Application Advice received from the Planning Authority.

Houses in Elm Drive were flooded in 2006 when a drain was broken by a digger working on waste ground. There are concerns about waste water and sewerage from the development.

COMMUNITY COUNCIL CONCERNS

There is a lack of available sewage capacity within the area.

Is the land to be sold or leased?

There is an ongoing problem with Japanese Knot Weed.

The amount of traffic on the road is not conducive to further development.

What are the intended uses of the proposed building? A detailed list of activities is required.

What are the proposed opening/closing times of the proposed community centre?

Has anyone considered the lack of housing for the elderly in the area? It seems to be a forgotten generation.

Who is funding the project?

Why was an article printed in two separate newspapers stating that Ty Sign is a deprived area?

SECTION 17 CRIME AND DISORDER ACT

What is the likely effect of the determination of this application on the need for the Local Planning Authority to do all it reasonably can to prevent crime and disorder in its area?

Crime and disorder is not a material planning consideration in the determination of this application. Whilst it is acknowledged that security measures have been incorporated into the external fabric of the building, any anti-social behaviour will be a matter for the management of the charity and the Police to pursue. From a planning point of view, community centres are best located in or near residential areas.

EU HABITATS DIRECTIVE

Does the development affect any protected wildlife species? The council's ecologist has recommended a series of conditions attached to any permission should members approve the application to safeguard the protection of any birds, protected species and reptiles.

Cont....

Application No. 18/0409/FULL Continued

COMMUNITY INFRASTRUCTURE LEVY (CIL)

Is this development Community Infrastructure Levy liable? No the development is not CIL liable.

ANALYSIS

Policies: The application has been considered in accordance with local plan policies and national planning guidance. The main issues to be considered in the determination of this application are in relation to design, amenity of the neighbouring residential occupiers, highway safety and the loss of the informal open space.

It should be noted that the existing Channel View Community Centre is not currently fit for purpose as a result of structural, locational and functional problems that cannot be addressed by further investment in the building. Whilst this community facility is still in use, the intention is to dispose of this building and associated land and a replacement facility is required to accommodate the existing users/groups of the building. Whilst the closure of the Channel View Community Centre would result in the loss of a community facility and would be contrary to Policy CW8 (Protection of Community and Leisure Facilities), its re-allocation elsewhere in the community would satisfy criterion A of Policy CW8.

The application site is a small parcel of open space located to the east of no. 196 Holly Road, and is in close proximity to the junction on the northern side of Holly Road which serves Snowden Close. The application site, is located within settlement limits where the principle of development is considered acceptable subject to satisfying all other material considerations.

In terms of design, Policy SP6 and CW2 of the LDP are relevant together with guidance contained in TAN 12 and Planning Policy Wales. In this respect the proposed community hall is single storey in height and is acceptable in terms of its footprint, design and materials. The building will be located below Holly Road with car parking facilities to the east and a garden area to the west. Whilst the development will result in a loss of the overgrown informal open space, it is not considered that the building will have an adverse impact upon the visual amenity of the surrounding area.

In terms of the current levels of amenity enjoyed by the occupiers of the properties adjoining the application site, the development will not result in the privacy or amenity of the occupiers of neighbouring properties being adversely affected by the development. Whilst the car park area is located approximately 15 metres away from the side elevation of no.196 Holly Road which also benefits from a habitable room window in this side elevation, any concerns relating to light pollution from vehicles can be mitigated by imposing a condition for an appropriate boundary treatment to protect the occupiers of no.196 Holly Road and those properties to the south in Elm Drive which would also be affected.

Cont....

Application No. 18/0409/FULL Continued

Policy CW3 considers Highway Safety. Twenty five car parking spaces have been provided and it is not considered that the proposed development will have a detrimental impact on the safe, effective and efficient use of the transportation network. Subject to the imposition of conditions relating to vision splays, parking provision and surfacing materials, the Transportation and Engineering Manager raises no objection. Holly Road is within a residential area, but also links Ty Sign to the surrounding area, and runs along the backs rather than the fronts of many properties. It is an appropriate type of road to serve the development.

In terms of the site's allocation within the Local Development Plan, the green corridor running along the southern edge of Holly Road is protected by policy LE5 (LE5.20 Holly Road, Risca), which identifies and seeks to protect important areas for informal recreation and community use. The policy seeks to protect such areas from inappropriate development, retaining their use for the community. However, the policy seeks to protect the site for informal use. The development of a dedicated community hall facility would be considered as a formal use and, as such, would not conform to the policy. The Appendices to the Written Statement for the Adopted LDP sets out brief descriptions of each of the LE5 designations and in respect of this site it states "As these are green spaces accessible to a large area of housing, they are ideal sites for informal recreation". This description identifies the site for recreation use, rather than recreation and community use.

Furthermore, the supporting text accompanying LE5 (Protection of Informal Open Spaces) states:

"Open spaces of a less formal character are often vital elements in the suburban landscape, offering a visually attractive haven for wildlife. This can often involve the community in ownership and conservation projects. These areas may often be used for walking and in some instances offer informal enjoyment for cyclists passing through the area"

The proposed development seeks the provision of a replacement community hall that, by its very nature, is a community use that complies with the policy context, but is not covered expressly in the Appendix description. The proposal formalises the community use, which is not in accordance with the policy context of protecting the land for informal use.

Cont....

Application No. 18/0409/FULL Continued

Proposals for development on areas of open space within settlements are considered on the basis of Policy CW7 (Protection of Open Space), and in these circumstances an open space assessment is required to determine whether there is sufficient open space remaining in the area to meet the needs of the existing community. In terms of this assessment the application site covers less than 8% of the total area allocated as LE5.20, and as such would not compromise the principal use of the area as a whole for informal recreational or community uses. It should be noted that the area benefits from significant amounts of informal and formal open space as well as the wider open spaces outside of settlement limits, which amount to a significant amount of accessible open space. Furthermore, the provision of a formal community use on a small part of the site may encourage greater informal use of the allocation as a whole, and this would accord with the policy.

In conclusion whilst the proposed development is for a community use (albeit a formal use) and having regard to the small proportion of the informal recreation allocation that would be lost to a formal use, it is considered that the proposed development accords with policies CW2, CW3, CW7 and CW8 of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010.

Comments from consultees: No objections have been raised subject to the imposition of conditions attached to the permission.

Comments from public: The following responses have been provided to the issues raised:

FINANCIAL IMPACTS

These are not considered to be material planning considerations.

SITE FEASIBILITY AND SUITABILITY IMPACTS

A Community Consultation Report dated 13th March examined other existing buildings but the conclusion was they were all unsuitable for various reasons. It is acknowledged that the proposed site is identified as an area of informal open space, however, a considerable amount of this green corridor of land would remain.

SUSTAINABILITY IMPACTS

In terms of the Sustainability concerns raised, the applicants are a registered charity and will therefore be able to bid for community funding. In terms of maintenance or enhancement within the application site, this will be for the management of the charity to maintain the upkeep of the garden area. This can be addressed by attaching an appropriate landscaping condition to the permission. It would not be their responsibility to maintain or enhance the remainder of the green corridor (LE5.20 Holly Road, Risca) as this would be an unreasonable request.

With regards to the comments raised in terms of upgrading an existing building, this is not considered to be a viable option at the Channel View site and has been addressed in the report above.

Cont....

Application No. 18/0409/FULL Continued

ENVIRONMENTAL IMPACTS

Conditions can be attached to the permission to protect the ecology on site. Given the appearance of the land and its lack of maintenance, funding for the site has never been established to formalise the land as a nature reserve.

With regards to the site being contaminated with Japanese knotweed, a condition can be imposed to the permission for a method statement and a scheme to successfully treat the Japanese knotweed.

In terms of the trees, there are no protected trees on the land and the tree officer has provided advice in respect of any trees on site that will be retained.

HIGHWAY SAFETY IMPACTS

In terms of Highway Safety, the Transportation and Engineering Manager raises no objection to the proposal.

AMENITY IMPACTS

In terms of the amenity issues raised, it is accepted that there will always be an element of disturbance associated with the construction of the building. Should any anti-social issues arise as a result of the development, this would be a matter for the Police to enforce.

With regard to the Human Rights Act, the planning system by its very nature respects the rights of the individual whilst acting in the interests of the wider community.

In terms of light pollution from vehicles at night, the property most affected by this would be no.196 Elm Drive, however planning a suitable boundary treatment can be mitigate against this.

SOCIAL IMPACTS

Whilst the proposal may result in a small reduction of land removed, on balance it is considered that there is a sufficient amount of open space remaining for residents to enjoy. With regards to all other matter raised, these are not material planning considerations.

VISUAL AMENITY

In terms of visual amenity the building is considered to be acceptable in terms of its design and will integrate with the existing character of the area and the intended users of the building are the same as that which use Channel View with an expectation for other residents and groups to also use the building.

POLICY IMPACTS

The land designation concerns have been addressed in the officer report above. In terms of the building not meeting employment objectives, it is understood that the existing caretaker of the Channel View Site would relocate to the new premises upon the closure of that site.

Cont....

Application No. 18/0409/FULL Continued

GENERAL COMMENTS

In terms of the general comments received, these are not relevant material planning considerations. The Local Planning Authority has performed its requirements in terms of advertising the application and the pre-application advice received from the Planning Authority alerted any potential issues that may need to be overcome. ie. the leisure allocation, measures for privacy, parking and design criteria.

Drainage issues are material and can be addressed by condition.

COMMUNITY COUNCIL CONCERNS

There is a lack of available sewage capacity within the area - This issue can be addressed through the imposition of a land drainage condition and advice from Dwr Cymru/Welsh Water will also be provided.

Is the land to be sold or leased? The land will be leased from the Council.

There is an ongoing problem with Japanese Knot Weed - This has been addressed previously above.

The amount of traffic on the road is not conducive to further development - No objection has been raised by the Transportation and Engineering Manager.

What are the intended uses of the proposed building? A detailed list of activities is required - The immediate users will be the 5th Risca Scouts, who run Scouts, Beaver Scouts and Cub Scout groups. Agape Community Church will hold some of its meetings and a 'Mothers and Toddlers' group. Other groups have also expressed an interest in using the building.

What are the proposed opening/closing times of the proposed community centre? - It is envisaged that the building will initially be used mostly in the early evenings and on Sunday and Monday mornings, although the intention is for the community to use the building to its potential. The charity has no desire for the building to be open at times which would be inconvenient to the local community.

Who is funding the project and where is this money coming from? - The charity has submitted application bids to the Welsh Government and the Big Lottery; however this is not a material planning consideration.

Why was an article printed in two separate newspapers stating that Ty Sign is a deprived area? - The Local Planning Authority is not responsible for articles printed in the press.

Cont....

Other material considerations: None.

The duty to improve the economic, social, environmental and cultural well-being of Wales, has been considered in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015. In reaching the recommendation below, the ways of working set out at section 5 of that Act have been taken into account, and it is considered that the recommendation is consistent with the sustainable development principle as required by section 8 of that Act.

RECOMMENDATION that Permission be GRANTED

This permission is subject to the following condition(s)

- 01) The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
REASON: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
- 02) The development shall be carried out in accordance with the following approved plans and documents:
Site Location Plan received on 04.05.2018;
Plan 1 Location received on 04.05.2018;
Plan 2 Site Layout received on 04.05.2018;
Plan 3 Building Layout received on 04.05.2018;
Plan 4 Elevation received on 04.05.2018;
Plan 5 Visibility splays, profile of access and service vehicles received on 04.05.2018.
REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.
- 03) Prior to the construction of the external surfaces of the development hereby approved details of the materials to be used, in electronic or printed format shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
REASON: In the interests of the visual amenity of the area.
- 04) Prior to the occupation of the development hereby approved the proposed means of access shall be laid-out, constructed and maintained thereafter, with vision splays of 2.4 metres x 120 metres. No obstruction or planting when mature exceeding 0.9 metres in height above the adjacent carriageway shall be placed or allowed to grow in the required vision splay areas.
REASON: In the interests of highway safety.

Cont....

Application No. 18/0409/FULL Continued

- 05) The building shall not be occupied until the area indicated for the parking of vehicles has been laid out in accordance with the submitted plans and that area shall not thereafter be used for any purpose other than the parking of vehicles.
REASON: In the interests of highway safety.
- 06) The proposed parking area shall be completed in materials as approved by the Local Planning Authority.
REASON: To ensure loose stones or mud etc are not carried on to the public highway.
- 07) Prior to the commencement of works on site a scheme of land and surface water drainage within the site shall be submitted to and agreed in writing by the Local Planning Authority. All works that form part of the agreed scheme shall be carried out before any part of the development to which it relates is occupied.
REASON: To ensure the development is served by an appropriate means of drainage.
- 08) Prior to the commencement of the development a scheme shall be submitted to and agreed in writing by the Local Planning Authority indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed in accordance with the approved details before the development is occupied.
REASON: In the interests of the visual amenities of the area.
- 09) Prior to the commencement of the development a scheme depicting hard and soft landscaping shall be submitted to and agreed in writing by the Local Planning Authority. The agreed details shall be carried out in the first planting and/or seeding season following the occupation of the development. Any trees or plants which within a period of 5 years from the completion of the development die or are removed, or become seriously damaged or diseased, shall be replaced in the next planting season with others of similar size and species unless the Local Planning Authority gives written consent to any variation.
REASON: In the interests of the visual amenity of the area.
- 10) No development or site/vegetation clearance shall take place until a detailed Reptile Mitigation Strategy has been prepared by a competent ecologist and submitted for the approval of the Local Planning Authority. The approved measures shall be strictly complied with.
REASON: To ensure that reptiles are protected.

Cont....

Application No. 18/0409/FULL Continued

- 11) Prior to the commencement of works on site, a method statement shall be submitted for approval to the Local Planning Authority detailing the treatment of Japanese Knotweed on site. The treatment of Japanese Knotweed shall be carried out in accordance with the approved details.
REASON: It is an offence under the Wildlife and Countryside Act 1981 (as amended) to "introduce plant or cause to grow wild any plant listed in Schedule 9 Part 2 of the Act". Japanese Knotweed (*Fallopia japonica* / *Polygonum cuspidatum*) is included within this schedule. All Japanese knotweed waste (the plant itself or material containing its rhizome) is classed as controlled/special waste and therefore must be disposed of in accordance with the Environmental Protection Act 1990 and the Environmental Protection Act Duty of Care Regulations 1991.
- 12) The demolition or site vegetation clearance associated with the development hereby approved shall not take place during the breeding season for birds, from March to August inclusive in any given year, unless otherwise agreed in writing by the Local Planning Authority.
REASON: To ensure that breeding birds are protected. All British birds, their nests and eggs (with certain limited exceptions) are protected by law under Section 1 of the Wildlife and Countryside Act 1981 (as amended) and the Countryside and Rights of Way Act 2000.
- 13) A grease trap, details of which shall be agreed with the Local Planning Authority prior to installation, shall be installed in the foul drainage system prior to the commencement of the use hereby approved.
REASON: To prevent pollution.
- 14) Prior to the commencement of the development hereby approved a scheme of odour/effluvia/fume control, including the erection of any associated stacks or vents, shall be submitted to and approved in writing by the Local Planning Authority and thereafter the development shall be carried out and operated in accordance with the approved scheme.
REASON: In the interests of the amenity of the area.
- 15) Prior to the commencement of the development a scheme for on-site refuse storage (including any open air storage facilities) and for waste material awaiting disposal (including details of any screening) shall be submitted to and agreed in writing by the Local Planning Authority. Such facilities shall be provided in accordance with the agreed details prior to the first occupation of the development.
REASON: In the interests of public health and the amenity of the area.

Cont....

Application No. 18/0409/FULL Continued

- 16) Notwithstanding the submitted plans details of any external and roof mounted plant and machinery (if any) shall be submitted to and approved in writing by the Local Planning Authority. The details shall include the location of the plant or machinery and the predicted noise levels (measured as LAeq 1 hour) as measured on the boundary of the application site. Thereafter, the development shall be carried out in strict accordance with the agreed details.
REASON: In the interests of protecting the amenity of the area.
- 17) The use hereby permitted shall not be open to members of the public outside the following times:
(a) 07.00 hours to 23.00 hours Monday to Saturday, and (b) 09.00 hours to 22.00 hours Sunday.
REASON: In the interests of residential amenity.

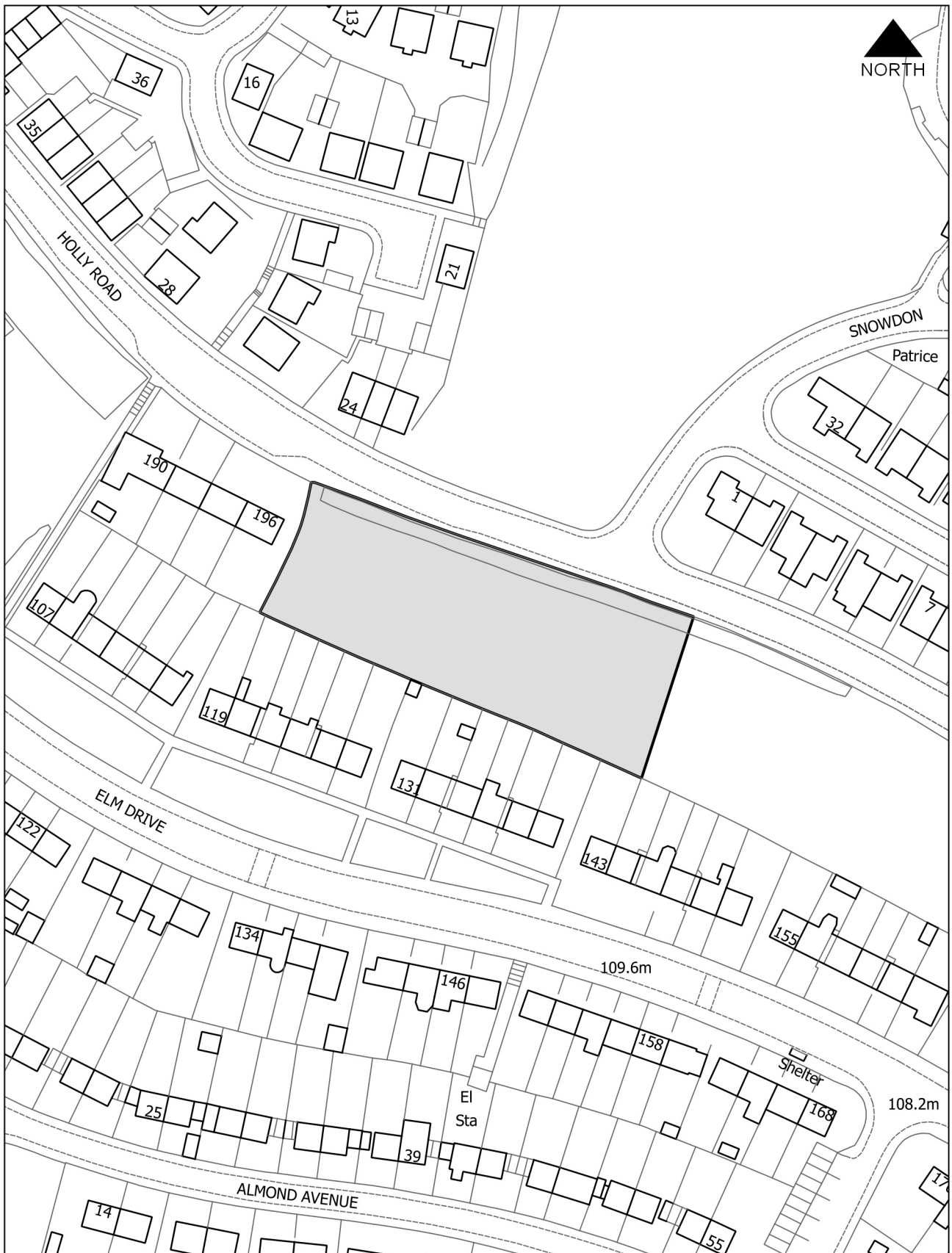
Advisory Note(s)

The following policy(ies) of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 is/are relevant to the conditions of this permission: CW2, CW3, CW7 and CW8.

Please find attached the comments of Dwr Cymru/Welsh Water that are brought to the applicant's attention.

Please find attached the comments of The Council's Tree Officer that are brought to the applicant's attention.

Please find attached the comments of Senior Engineer (Land Drainage) that are brought to the applicant's attention.



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Agenda Item 10

Code No. and Date Received	Name and Address of Applicant	Description and Location of Proposed Development
18/0374/FULL 27.04.2018	Mr G Rees C/o Hurley & Davies 206 High Street Blackwood NP12 1AJ	Erect elderly persons living accommodation and associated works Pontllanfraith Youth Centre And Cyber Cafe Sir Ivor Road Pontllanfraith Blackwood NP12 2JH

APPLICATION TYPE: Full Application

SITE AND DEVELOPMENT

Location: The application site is located on the eastern side of Sir Ivor Road, Pontllanfraith.

Site description: The site is currently occupied by a two storey detached stone building located at the southern extent of the site, with associated curtilage.

Development: It is proposed to demolish the existing building and erect a three storey apartment block with associated undercroft car parking provision. The apartment block will comprise 20 affordable apartments exclusively for the over-55's.

Dimensions: The proposed building has maximum dimensions of 32.6 metres in width, 16.2 metres in depth, with a height of 9.5 metres to roof level when viewed from Sir Ivors Road to the front, and 12.0 metres to ridge level from the rear undercroft parking area.

Materials: Brickwork and render walls and upvc windows and doors.

Ancillary development, e.g. parking: Off-street parking for a total of 16 cars is proposed. An area of amenity space is also proposed for future residents at lower ground floor level in the north-east corner of the site.

PLANNING HISTORY 2005 TO PRESENT

16/0672/OUT - Erect residential development and associated works - Granted 08.02.17.

Cont....

Application No. 18/0374/FULL Continued

POLICY

LOCAL DEVELOPMENT PLAN

Site Allocation: The site is located within the Settlement Boundary.

Policies: SP5 (Settlement Boundaries), SP6 (Place Making), CW2 (Amenity), CW3 (Design Considerations - Highways), CW11 (Affordable Housing Planning Obligations).

NATIONAL POLICY: Planning Policy Wales, TAN 12 (Design).

ENVIRONMENTAL IMPACT ASSESSMENT

Did the application have to be screened for an EIA? No.

Was an EIA required? Not applicable.

COAL MINING LEGACY

Is the site within an area where there are mining legacy issues? Yes. The site is located within an area classed as having a high coal mining legacy risk. Based on this designation, a Coal Mining Risk Assessment was submitted. The Coal Authority were consulted on this report and as a result raise no objection to the proposed development subject to condition.

CONSULTATION

The Coal Authority - No objection subject to the imposition of a condition requiring an intrusive site investigation be undertaken to establish the ground conditions that should in turn inform the final structural design.

Rights Of Way Officer - No objection.

Strategic & Development Plans - No objection.

Head Of Public Protection - No objection subject to conditions.

Senior Engineer (Land Drainage) - No objection subject to condition.

Head Of Public Services - Provide advice regarding the required number of refuse vessels.

Transportation Engineering Manager - No objection subject to conditions.

Cont....

Application No. 18/0374/FULL Continued

Dwr Cymru - Provide advice to the developer.

Police Architectural Liaison Officer - No response.

Wales & West Utilities - Provide advice to the developer.

Ecologist - Based on the initial assessment of the building requests a bat activity survey. The result of this survey and related recommendations will be reported verbally at Planning Committee.

Landscape Architect - Provides advice regarding a tree in the south east corner of the site. This tree is not protected by a Tree Preservation Order.

ADVERTISEMENT

Extent of advertisement: Eleven neighbouring properties were consulted by way of letter and a site notice was displayed near the application site.

Response: One objection has been received.

Summary of observations: - Impact of existing concrete plant to the east of the site on the amenity of future occupiers in terms of noise.

SECTION 17 CRIME AND DISORDER ACT

What is the likely effect of the determination of this application on the need for the Local Planning Authority to do all it reasonably can to prevent crime and disorder in its area?

Crime and disorder are not considered to be an issue for this application.

EU HABITATS DIRECTIVE

Does the development affect any protected wildlife species? A bat and bird inspection of the building was undertaken by a qualified Ecologist. The survey confirmed evidence that bats are using the existing building. On this basis a bat activity survey has been undertaken to establish which species are using the building at present. The result of this survey as well as required mitigation measures will be reported verbally at planning committee. The development will be required to successfully apply for a development licence from Natural Resources Wales prior to demolishing the existing building onsite.

Cont....

COMMUNITY INFRASTRUCTURE LEVY

Is this development Community Infrastructure Levy liable? Yes, the proposal represents new residential development in the Mid CIL viability zone and is chargeable at a rate of £25 per square metre. However, as the application is for 100% affordable housing the development falls under a CIL exemption.

ANALYSIS

Policies: The application site is located within the Settlement Boundary, and therefore the principle of residential development is considered acceptable providing material planning considerations do not indicate otherwise. In this instance the principal material planning considerations are the potential impact of the development on the visual amenity of the area, the potential impact on the residential amenity of nearby properties, and the impact on highway safety. Outline planning permission for up to 16 flats was approved at the site in 2016 and therefore the principle of residential development for a relatively large building has already been established at the site.

In terms of the potential impact on the visual amenity of the area, the area surrounding the application site is defined as having a broad range of building types both in terms of their scale and uses. For example, opposite the application site is a car sales garage, adjoining the site is a dental surgery, and to the east is a concrete works. In close proximity to the application site is an existing three storey block of flats with undercroft parking area at basement level. Therefore the principle of a large block of flats with undercroft parking is not considered to be unacceptable given the context of the surrounding area. Furthermore, a streetscene plan has been produced that shows the ridge level of the proposed development less than 0.5 metres above the ridge of the dental surgery that adjoins the application site to the north. This will ensure that whilst the building is large, it will not appear disproportionate in the existing streetscene.

In relation to nearby residential amenity, given the position of the proposed development, there will be very limited impact in residential amenity terms. Furthermore, as appropriate level of off-street car parking to serve the development can be provided, as well as an area of amenity space for future occupiers, the proposal does not represent over-development. A bin storage area will be created within the building at ground floor level. For these reasons, the proposed development is considered to comply with Policy CW2 (Amenity) of the Adopted Caerphilly Local Development Plan.

Cont.....

Application No. 18/0374/FULL Continued

Policy CW3 of the Local Development Plan relates to Highway considerations and states that development proposals should have regard for the safe, effective and efficient use of the transportation network. Based on the proposed tenure type, i.e. over 55's, the Transportation Engineering Manager raises no objection to the proposed development subject to conditions relating to visibility splays for vehicles exiting the site and parking provision within the site. Therefore it is considered that the proposed development satisfies Policy CW3. It should be noted that the required level of parking for an over 55's unit of accommodation is 1 space per 2-4 dwellings, as well as appropriate levels of visitor parking. The development proposes 16 parking spaces and ensures that the scheme accords with the parking guidelines.

Policy CW11 states that on sites accommodating 5 or more dwellings, or exceeding 0.15 hectares in gross site area, an element of affordable housing will be required. For the Pontllanfraith area, the target for affordable housing is 25%. Therefore of the fifteen proposed dwellings, four would need to be provided as affordable units. However, the application is for 100% affordable housing exclusively for the over-55's. This tenure type will be controlled by way of a Section 106 agreement.

Comments from Consultees: No objection is raised to the proposed development subject to conditions and advice.

Comments from public: In terms of the objection raised by the operator of the cement plant to the east of the application site, it is noted that the proposed development is no closer to the existing neighbouring use than the existing residential properties to the north of the application site beyond the dental surgery. Therefore if the existing commercial use were to create unacceptable noise levels this impact would be experienced by these existing properties and appropriate action would be taken accordingly. Therefore it is not considered that these objections would warrant a refusal of planning permission. A condition requiring the east facing habitable room windows to be fitted with acoustic glazing will be attached to the permission

Other material considerations: The proposal will provide 20 affordable dwellings in the settlement boundary in an area of established need for such accommodation. This development will contribute to the Council's housing land supply thereby reducing pressure of greenfield sites for development.

RECOMMENDATION: That permission be GRANTED

This permission is subject to the following condition(s)

- 01) The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
REASON: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.

Cont....

Application No. 18/0374/FULL Continued

- 02) Prior to the construction of the external surfaces of the development hereby approved details of the materials to be used, in electronic or printed format shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
REASON: In the interests of the visual amenity of the area.
- 03) Prior to the commencement of works on site a scheme of land and surface water drainage within the site shall be submitted to and agreed in writing by the Local Planning Authority. All works that form part of the agreed scheme shall be carried out before any part of the development to which it relates is occupied.
REASON: To ensure the development is served by an appropriate means of drainage.
- 04) Prior to the commencement of the development a scheme depicting hard and soft landscaping shall be submitted to and agreed in writing by the Local Planning Authority. The agreed details shall be carried out in the first planting and/or seeding season following the first occupation of the development. Any trees or plants which within a period of 5 years from the completion of the development die or are removed, or become seriously damaged or diseased, shall be replaced in the next planting season with others of similar size and species unless the Local Planning Authority gives written consent to any variation.
REASON: In the interests of the visual amenity of the area.
- 05) The proposed means of access shall be laid-out, constructed and maintained thereafter, with vision splays of 2.4m x 43m. No obstruction or planting when mature exceeding 0.9m in height above the adjacent footway shall be placed or allowed to grow in the required vision splay areas.
REASON: In the interests of highway safety.
- 06) The building shall not be occupied until the area indicated for the parking and turning of vehicles has been laid out in accordance with the submitted plans to the written satisfaction of the Local Planning Authority, and that area shall not thereafter be used for any purpose other than the parking and turning of vehicles.
REASON: In the interests of highway safety.
- 07) The proposed parking area shall be completed in materials as agreed with the Local Planning Authority, to ensure loose stones or mud etc. is not carried on to the public highway.
REASON: In the interests of highway safety.

Cont....

Application No. 18/0374/FULL Continued

- 08) The proposed access ramp serving the parking area shall have a maximum gradient not exceeding 1:8 and shall be completed in materials as agreed in writing with the Local Planning Authority prior to beneficial occupation of the development.
REASON: In the interests of highway safety.
- 09) The layout of the development hereby approved shall include off-highway collection areas for refuse, recycling, food and garden waste to be collected by vehicles operating a highway kerbside collection service. The approved collection areas shall be completed before the residential units to which they relate are occupied and thereafter they shall be maintained free of obstruction for the storage and collection of refuse, recycling, food and garden waste only.
REASON: To ensure that adequate provision for refuse, recycling, food and garden waste collection is included in the site layout in the interest of visual amenity and highway safety.
- 10) Prior to the construction of the foundations of the development hereby approved details showing the finished floor levels of the building hereby approved in relation to a fixed datum point off-site shall be submitted to and approved in writing by the Local Planning Authority and the development shall be carried out in accordance with the approved details.
REASON: In the interests of the visual amenity of the area.
- 11) Prior to the commencement of the development a scheme shall be submitted to and agreed in writing by the Local Planning Authority to deal with the contamination of the site. That scheme shall include a ground investigation and a risk assessment to identify the extent of the contamination and the measures to be taken to avoid risk to the occupants of the development when the site is developed. The development shall be carried out in accordance with the approved scheme.
REASON: In the interests of public health.
- 12) No building approved by this permission shall be occupied or approved uses commence until a report has been submitted to and approved in writing by the Local Planning Authority which verifies that the required works have been undertaken in accordance with the remediation strategy.
REASON: To protect public health.

Cont....

Application No. 18/0374/FULL Continued

- 13) Before any soils or hardcore that do not fall within the green category set out in Table 2 of the WLGA document 'Requirements for the Chemical Testing of Imported Materials for Various End Uses and Validation of Cover Systems 2013' are brought on to site, a scheme for their importation and testing for contamination shall be submitted to and agreed in writing with the Local Planning Authority. The development shall thereafter be carried out in accordance with the approved scheme.
REASON: To prevent contamination of the application site in the interests of public health.
- 14) Before any development commences the developer shall carry out an investigation of the underground strata (the results of which shall be submitted to the Local Planning Authority) in order to satisfy himself as to the stability of the site and the measures which should be taken to mitigate against the risk of subsidence. Details of the design of the foundations of the proposed building(s) and/or proposals for ground treatment shall take account of the result of the investigation and shall be submitted to and agreed with the Local Planning Authority before development commences. The foundations and/or ground treatment shall thereafter be completed in accord with such details as may be approved.
REASON: In the interests of health and safety.
- 15) The development shall be carried out in accordance with the following approved plans and documents:
Drawing No. HD2236/PL02A, Revision A, Site and Carpark Layout, received 05.07.2018;
Drawing No. HD2236/PL01A, Revision B, Plans, sections and elevations, received 05.07.2018;
Site Location Plan received 25.04.2018.
REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.
- 16) Prior to any works commencing on site (including any demolition works) a Construction Traffic Management Plan (CTMP) shall be submitted to and agreed in writing with the Local Planning Authority. The TMP shall specify the size of vehicles which shall be used for both exporting materials and for the delivery of construction materials, along with the routes to be used for deliveries and exportation, and the management of all staff parking during the works. The TMP shall be implemented in accordance with the agreed details for the duration of the works.
REASON: In the interests of highway safety.

Cont....

Application No. 18/0374/FULL Continued

- 17) The area of Landscaped amenity space as shown on the submitted site layout plan shall be completed and available to future residents prior to first occupation of the approved development.
REASON: In the interests of the amenity of future occupiers.
- 18) Prior to the development commencing on the construction of any roads, drainage, or buildings hereby approved a scheme for dust mitigation shall be submitted to and agreed in writing with the Local Planning Authority. Thereafter the agreed scheme shall be employed as necessary to deal with dust arising from construction works.
REASON: In the interests of the amenity of the area.
- 19) Prior to the development commencing on the construction of any roads, drainage, or buildings hereby approved a scheme for noise mitigation shall be submitted to and agreed in writing with the Local Planning Authority. Thereafter the agreed scheme shall be employed as necessary to deal with noise arising from construction works.
REASON: In the interests of the amenity of the area.
- 20) No part of the building shall be occupied until all east facing habitable room windows have been fitted with acoustic glazing. The glazing must be capable of achieving 30dB (A) measured as an 8hr LAeq inside bedrooms and 35 dB (A) measured as a 16 hr LAeq in all other habitable rooms. The measures shall be implemented prior to the first occupation of the building that they relate to and thereafter the measures shall be remain in place at all time unless otherwise agreed in writing by the Local Planning Authority.
REASON: In the interest of residential amenities.
- 21) The development shall not begin until a scheme for the provision of over-55's affordable housing as part of the development has been submitted to and agreed in writing by the Local Planning Authority. The over-55's affordable housing shall be provided in accordance with the agreed scheme. The scheme shall include:
 - a. The numbers, type, tenure and location on the site of the affordable housing provision to be made, which shall consist of not less than one of the approved housing units.
 - b. The arrangements to ensure that such provision is affordable for both first and subsequent occupiers of the affordable housing, except where tenants exercise the Right to Acquire under the Housing Act 1996.
 - c. The occupancy criteria to be used for determining the identity of occupiers of the affordable housing and the means by which such occupancy criteria shall be enforced.

Cont....

Application No. 18/0374/FULL Continued

d. Where the development is not carried out by a Registered Social Landlord (RSL) the arrangements for the transfer of the constructed affordable housing to a Registered Social Landlord.

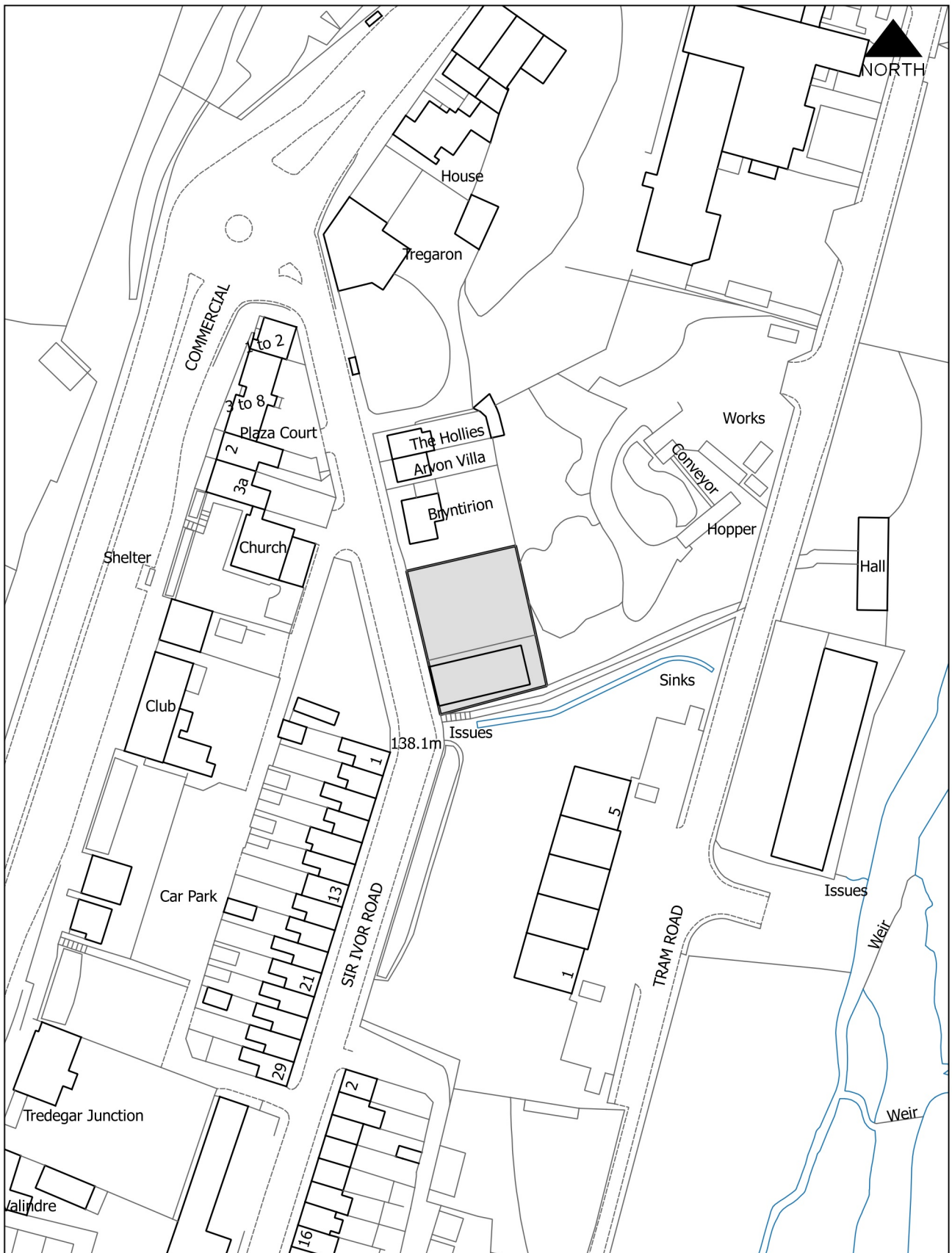
e. The timing of the construction of the over-55's affordable housing and its phasing in relation to the occupancy of the market housing (unless no market housing is provided within the development hereby approved).

REASON: To ensure that affordable housing is provided in accordance with adopted Council policy.

Advisory Note(s)

Please find attached the comments of Welsh Water, The Senior Engineer (Land Drainage) Head of Public Services, Rights of Way Officer. Coal Authority, Landscape Architect, Wales and West Utilities that are brought to the applicant's attention.

The following policy(ies) of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 is/are relevant to the conditions of this permission: Policy CW2, CW3, CW5, CW11.



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Agenda Item 11

Code No. and Date Received	Name and Address of Applicant	Description and Location of Proposed Development
17/0973/FULL 13.11.2017	Bryn Aggregates Ltd C/o Barton Willmore Mr J Ayoubkhani Greyfrairs House Greyfrairs Road Cardiff CF10 3AL	Retain and formation of a repositioned approved earth bund, landscaping and associated works Gelliargwelt Farm Gelligaer Road Gelligaer CF82 8FY

APPLICATION TYPE: Full Application

SITE AND DEVELOPMENT

Location: The application site is located adjacent to Bryn quarry, approximately 225 metres south-west of Gelligaer and 515 metres north-west of Penybryn. Parc Penallta lies to the south-east and Nelson 1.75 kilometres to the south-west of the site. Bryn quarry is a small sandstone quarry within Gelliargwelt Uchaf farm, a dairy unit with land between Nelson, Gelligaer and Trelewis. The farm also contains a number of waste-related buildings and uses, including a materials recycling and recovery facility and an anaerobic digestion facility.

Site description: The site comprises former agricultural land on the edge of the quarry. The site is within the Mynydd Eglwysilian Special Landscape Area and the farmhouse and bee boles within the cluster of agricultural buildings to the west is a grade II listed building. Waun Rhydd Site of Importance for Nature Conservation adjoins the site boundary to the north.

Development: The application is partially retrospective and formation of the proposed bund has commenced. The application proposes a perimeter bund approximately 200 metres from the edge of the quarry. The extant permission for the site (12/0570) included a bund but sited immediately adjacent to the quarry bowl. The applicant states that when construction commenced on the bund in that location, it could not continue due to unforeseen instability. Boreholes carried out to inform the quarry extension and associated development missed an area of peat, which was not stable enough to take the loading of the approved bund.

The proposed bund runs in a north-west south-east direction then turns 90 degrees to run north-east to run north-east to south west and is located further to the north of the quarry than the approved location because of the prevailing ground conditions. No change is proposed to the mineral working approved in 2012.

Cont....

Application 17/0973/FULL - Continued

The purpose of the bund is to mitigate the visual impact of the quarry and to lessen the impacts of dust and noise on the residential areas of Penybryn and Gelligaer. It is designed so that the outer, gentler slope can be used for agriculture.

Dimensions: The site area extends to 18.8 hectares but this includes land between the quarry and the bund, which is the subject of a separate application (17/0971) for variation of the restoration scheme. The bund would rise from 219m AOD to a maximum height of 225m AOD. The maximum height above existing ground level would be 6.6 metres.

Materials: Not applicable.

Ancillary development, e.g. parking: None is proposed.

PLANNING HISTORY 2005 TO PRESENT

12/0570/FULL - Extend existing quarry operations including new drainage system and settlement ponds, landscape bunds and associated works - Granted 13.08.13.

17/0971/NCC - Vary condition 18 of planning permission reference 12/0570/FULL to enable the variation of the approved restoration scheme to reflect the repositioned earth bund and landscaping. - Not yet determined.

POLICY

LOCAL DEVELOPMENT PLAN

Site Allocation: The site is outside settlement boundaries identified in the adopted Local Development Plan.

Policies: The following policies in the Caerphilly County Borough Local Development Plan adopted November 2010 are relevant to the determination of this application: SP5, CW15 Locational Constraints, SP6 Place Making, SP8 Mineral Safeguarding, CW2 Amenity, CW3 Highways, CW4 Natural Heritage Protection, CW5 Water Environment, CW22 Mineral Safeguarding, CW23 Buffer Zones.

NATIONAL POLICY National policy is contained in Planning Policy Wales Edition 9 November 2016.

ENVIRONMENTAL IMPACT ASSESSMENT

Did the application have to be screened for an EIA? Yes.

Was an EIA required? No.

Cont....

Application 17/0973/FULL - Continued

COAL MINING LEGACY

Is the site within an area where there are mining legacy issues? The site is within the coalfield but no built development is proposed.

CONSULTATION

Transportation Engineering Manager - No objection is raised.

Head Of Public Protection - Having reviewed the noise assessment and the air quality assessment submitted with the application, Head of Public Protection raises no objection subject to the implementation of a dust mitigation scheme during construction and conditions restricting hours of operation for the bund construction as well as a condition setting environmental noise limits at sensitive properties.

Countryside And Landscape Services - No objection is raised subject to the works being carried out in accordance with the landscape mitigation and planting strategy plan submitted with the application. Conditions should also be attached to require prior approval of certain details and to ensure a five-year maintenance plan and a ten-year landscape management plan are implemented.

Senior Engineer (Land Drainage) - Advice is provided for the developer and a condition is recommended to ensure that the development is served by an appropriate means of drainage.

Rights Of Way Officer - Two footpaths cross the site. The applicant should be reminded by means of an informative that access to the footpaths should be maintained and safety of users maintained at all times.

Natural Resources Wales - NRW made comments on the proposal at the pre-application consultation. That remains current and no further comments are made.

The pre-application advice dated 2 November 2017 raised no objection. Recommendation was made in respect of monitoring ditches and lagoons during construction to prevent sediment and suspended solids reaching surface waters and advice was given to the applicant on pollution control measures.

CADW - Cadw considers that the proposed development will not cause damage to the setting of any scheduled monuments and, therefore, raise no objections.

Ecologist - The comments are contained and addressed in the Analysis section of this report.

Cont....

Application 17/0973/FULL - Continued

Landscape Architect - No objection in principle subject to conditions to secure successful restoration and to secure compliance with the landscape mitigation and planting strategy submitted with the application.

ADVERTISEMENT

Extent of advertisement: The application has been advertised by site notices posted near the site and by letters to 144 properties in Penybryn and Gellgaer which face onto the site.

Response: Three letters of objection have been received together with a petition containing 69 signatures.

Summary of observations: The following issues are raised: Noise, dust, smell, the quarry is getting bigger and moving towards Penybryn and Gelligaer, Deposit of stone dust on perimeter of quarry, the retrospective nature of the application, measures are needed to improve road condition and to prevent out of hours vehicles, loss of wildlife, distance between quarry and bund, impact on SLA.

SECTION 17 CRIME AND DISORDER ACT

What is the likely effect of the determination of this application on the need for the Local Planning Authority to do all it reasonably can to prevent crime and disorder in its area?
The proposal is unlikely to have a significant impact on crime or disorder in the local area.

EU HABITATS DIRECTIVE

Does the development affect any protected wildlife species? A survey was carried out and although it is unlikely to be a significant issue in this case, the standard WAG species licence condition will be imposed and an advisory note will be sent to the applicant as precautionary measures.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

Is this development Community Infrastructure Levy liable? No, mineral working and ancillary development not creating floorspace is exempt.

Cont....

ANALYSIS

Policies: The application has been assessed in the context of national policy and the policies in the adopted local development plan. The main issues are as follows:

The principle of the development in the countryside (SP5, CW15)

The proposed development is associated with mineral working, which has to take place where the mineral resource is found. For that reason mineral working is one of the development types that may be permitted within the countryside. While the proposal itself is not for mineral extraction, the bund is necessary to enable the continuation of mineral extraction at the quarry.

Landscape and visual impact (SP6, CW4)

The site is within the Mynydd Eglwysilian SLA. A Landscape and Visual Impact assessment has been carried out by the applicant and assessed by the Council's Landscape Architect, who raises no objection subject to the imposition of conditions to secure compliance with the submitted landscape mitigation and planting strategy and measures to secure successful restoration. The impact of the proposed bund on the character and appearance of the surrounding special landscape area are not significantly greater than the impact associated with the approved bund and can be addressed by conditions.

Impact on ecology and nature conservation (CW4)

The site is adjacent to the Waun Rhydd Site of Importance for Nature Conservation designated for its marshy grassland indicator species, semi-improved acid grassland and scrub. Policy CW4 states that development proposals in close proximity to SINC's will be permitted where they conserve and if appropriate enhance the distinctive and characteristic features of the SINC or where the need for the development outweighs the ecological importance of the site and where the harm is minimised by mitigation measures and offset by compensation measures to ensure that there is no reduction in the overall value of the site.

The proposals involve the removal of a significant quantity of peat, which is a scarce resource within the county borough. The applicant has estimated that of the 315,000 cubic metres of peat within the application site boundary 146,000m³ would be lost due to compaction beneath the bund and through the removal of peat on the approved alignment of the bund. However, two peat cells would be created within the proposed bund, together with another area to the north east of the application site amounting to 27,000m³ of peat in mitigation. The net loss would, therefore, be 119,000m³.

Peat is a mineral resource that is relatively rare in the county borough, and is a finite natural resource. It provides an important function in both water catchment management, acting as a sponge during periods of high rainfall, helping to reduce downstream flooding, and also acts as a carbon sink.

Cont....

Application 17/0973/FULL - Continued

With regards to ecological interests associated with the application, the peat in the vicinity of the proposed bund has been agriculturally improved through the regular application of fertilizers resulting in the sward now comprising of relatively few grass species, and is currently of low ecological value. However, it should be noted that due to the very wet nature of the site this would quickly revert to a more diverse sward if a less intensive management regime were to be introduced. As this area forms part of a relatively intensively farmed land, the likelihood of reversion to a less intensive regime, is unlikely unless agricultural policies change following Brexit.

Noise impact (CW2)

A noise impact assessment has been prepared by the applicant and assessed by the Head of Public Protection. No objection is raised subject to the imposition of conditions setting noise limits for the construction phase and day-time noise limits at residential properties.

Dust and air quality (CW2)

An air quality impact assessment has been carried out by the applicant and assessed by the Head of Public Protection. No objection is raised subject to a dust mitigation scheme being implemented throughout the construction phase of the development.

Impact on water environment (CW5)

The application site is within an area liable to surface and groundwater flooding and is within 20 metres of a watercourse. Natural Resources Wales raises no objection in principle. The council's land drainage engineer recommends that a condition be attached to any consent granted to require the submission of a scheme of land and surface water drainage.

Mineral site buffer zone (SP8, CW23)

Policy CW23 aims to prevent conflict between mineral working and sensitive development. The application site is within the buffer zone for Bryn Quarry and the bund encroaches on sensitive residential development in Gelligaer and Penybryn. Determination of the application should have regard to the effect of the proposed development on the residential areas.

Mineral safeguarding area (CW22)

Within mineral safeguarding areas permanent development that would sterilise the mineral resource will be resisted. The site is within an area of sandstone resource and coal resources. The sandstone resource is important nationally as the sandstones of the Coal Measures have qualities which make them suitable for skid resistant road surfacing. Such resources are limited in extent across the UK, although they are extensive within the south Wales coalfield. The proposed development would facilitate the extraction of sandstone at the adjacent quarry in accordance with a permission granted in 2012 and it does not, therefore, conflict with policy CW22.

Cont....

Application 17/0973/FULL - Continued

Coal has been worked in the local area in the past but there is no indication that any remaining resource is commercially viable. The resource lies to the south of the farm buildings and waste development, some 400 metres from the application site.

Comments from consultees: The comments are summarised above and addressed in the analysis section of this report.

Comments from public: The comments are summarised above and are addressed in the report above.

Other material considerations:

The duty to improve the economic, social, environmental and cultural well-being of Wales, has been considered in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015. In reaching the recommendation below, the ways of working set out at section 5 of that Act have been taken into account, and it is considered that the recommendation is consistent with the sustainable development principle as required by section 8 of that Act.

CONCLUSION

The principle of the quarry and associated development has been established by permission reference 12/0570. The current application seeks to construct a bund in a revised form to the north of the approved site. The footprint of the proposed bund is larger but it is approximately the same height. The bund would have a steeper inner face and a gentler outer face to facilitate its use for agriculture.

It is unfortunate that the application is partly retrospective. The applicant claims this was due to the need to react to the unexpected instability of the ground immediately adjacent to the quarry due to the peat resource, which made the ground unsafe for construction vehicles and would have reduced the stability of the landform. Delaying the bund construction work while the issue was resolved could have had repercussions for production at the quarry. The application falls to be determined on the planning merits of the case and any unauthorised work is carried out at the applicant's own risk.

The bund would screen the quarry from the residential areas in Penybryn and Gelligaer and would assist in minimising noise and dust impact at residential properties near the site. The effects of the bund, including the effect on the Mynydd Eglwysilian SLA and the Waun Rhydd SINC, are not significantly greater than those associated with the approved bund and the impacts can be addressed by the imposition of suitable conditions.

The proposal would result in the loss of a substantial area of degraded peat resource. To compensate for the loss, the applicant proposes management of the remaining areas to prevent further degradation. This can be secured by condition.

Cont....

Application 17/0973/FULL - Continued

On balance the harm caused by the loss of the peat resource does not outweigh the benefits offered by the proposal in terms of a more natural landform, mitigation of the effects of quarrying and in enabling the quarry to continue to supply High Specification Aggregate which is limited in occurrence across the UK.

However, a legal agreement is required in order to secure the proposed peat mitigation measures, to secure monitoring of water levels within the SINC and to set trigger levels for further mitigation to protect the characteristic features of the SINC. This may include financial measures, for example a bond, to ensure that the peat mitigation measures can be completed if, for some reason, the operator fails to comply.

RECOMMENDATION (A) that the application is DEFERRED to allow the applicants to enter into a Section 106 Agreement on the basis set out in the report. On completion of the Agreement (B) that Permission be GRANTED.

This permission is subject to the following condition(s)

- 01) The development hereby permitted shall be carried out only in accordance with the following plans and other submitted details except where modified by the conditions that follow:
 - Application dated 13 November 2017;
 - Planning Statement dated November 2017;
 - Drawing Number AJA.2229.01 Landscape mitigation and planting strategy received 13 November 2017;
 - Drawing number BAL-NSB-2916-012revA Proposed bund and restoration received 13 November 2018;
 - Drawing Number BAL-NSB-2016-003revG Proposed bund sections 13 November 2018;
 - Drawing Number BAL-NSB-2016-009revA Proposed bund phase 1 received 13 November 2018;
 - Drawing Number BAL-NSB-2016-010revA Proposed bund phase 2 received 13 November 2018;
 - Drawing Number BAL-NSB-2016-011revA Proposed bund phase 3 13 November 2018;
 - Drawing Number BAL-NSB-2016-013revA Site location plan received 13 November 2018;
 - Drawing Number BAL-NSB-2016-002revQ Proposed bund received 24 May 2018;
 - Drawing Number BAL-NSB-2016-016 Peat for habitat creation received 24 May 2018;
 - Letter dated 24 May 2018 - Peat quantities appraisal.
- REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.

Cont....

Application 17/0973/FULL - Continued

- 02) Within three months of the date of this permission an aftercare scheme detailing and timetabling the tasks associated with the 5-year maintenance and defects plan and schedule of maintenance operations shall be submitted for the approval of the Local Planning Authority. The scheme shall include a written detailed medium and long term landscape management plan, covering a 15 year period plus, to ensure the scheme becomes successfully matured, including areas of peat translocation and to ensure that the proposed landscaping successfully mitigates the adverse effects. The scheme shall be implemented as approved.
REASON: To ensure appropriate standards of aftercare.
- 03) A scheme of land and surface water drainage within the site shall be submitted to and approved by the Local Planning Authority within two months of the date of this permission. Thereafter the development shall be carried out in accordance with the approved details.
REASON: To ensure the development is served by an appropriate means of drainage.
- 04) A detailed planting plan and written specification (following the Landscape and Mitigation and Planting Strategy, drawing number AJA.2229.01rev3), shall be submitted for the approval of the Local Planning Authority within three months of the date of this permission. The plan shall include details of:
Ground preparation, planting numbers, wildflower and grass seed mixes and sowing rates;
Location and type of stockproof fencing to protect proposed woodland, wildflower grassland and hedgerows;
Detailed timetable highlighting the phasing of all operations during the construction period of the earth bund, including a timetable for seeding, peat excavation and planting.
Once approved, the plan shall be implemented in full throughout the proposed operations.
REASON: To protect the amenity of the local area.
- 05) Construction work on the bund shall not take place except between the hours of:
Monday to Friday 08:00-18:00;
Saturday 09:00 - 13:00.
No operations shall be carried out on the bund on Sundays or bank holidays.
REASON: To Protect the amenity of local residents.

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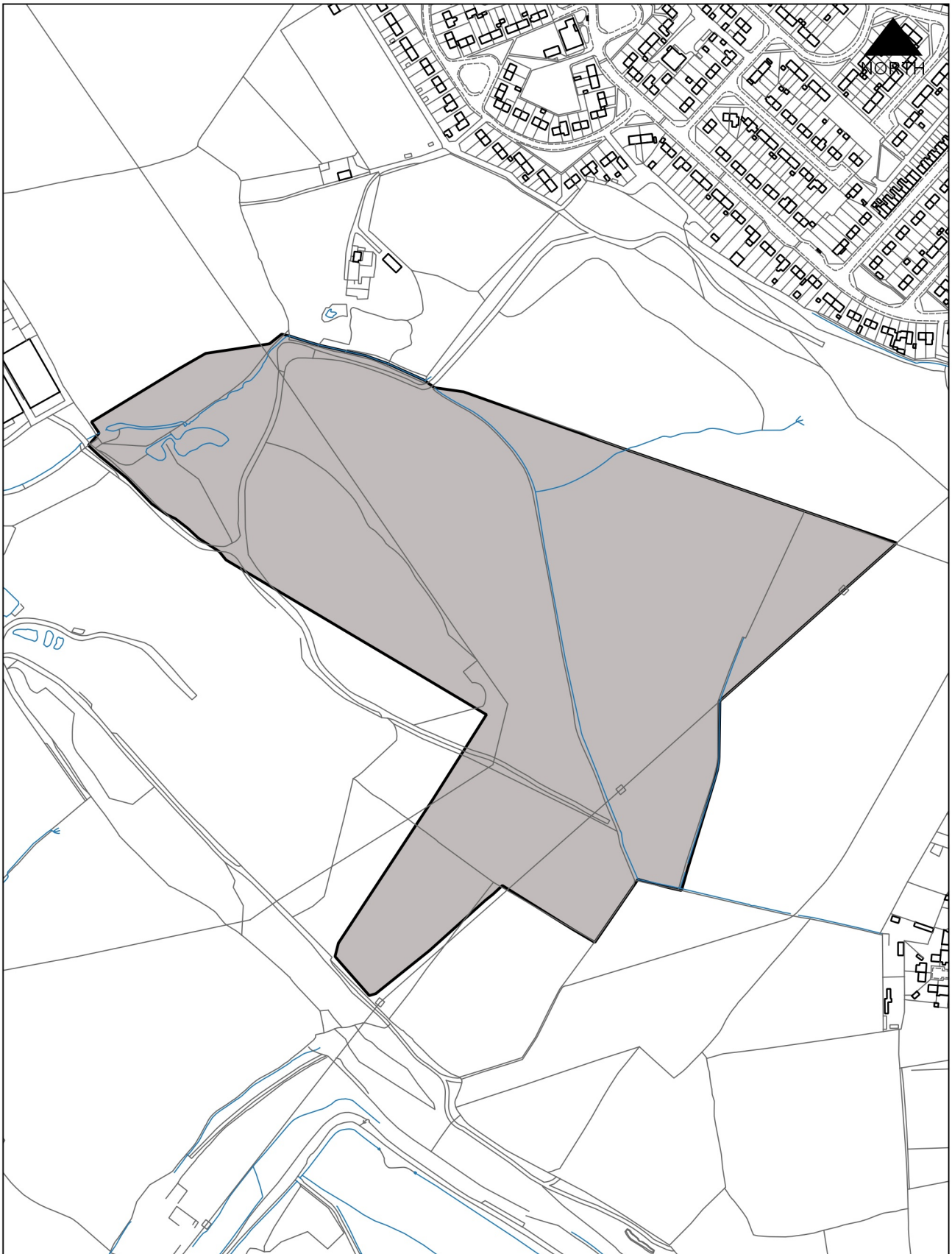
Application 17/0973/FULL - Continued

- 06) Within one month of the date of this permission a scheme and programme of measures for the suppression of dust, shall be submitted for the approval of the Mineral Planning Authority. The scheme shall include:
- (a) The suppression of dust caused by the moving and storage of soil and overburden, stone and other materials within the site;
 - (b) The fitting of drilling rigs with efficient dust control measures;
 - (c) Dust suppression on haul roads, including speed limits;
 - (d) The provision of dust collection and storage facilities;
 - (e) Provision for monitoring and review of the scheme;
- Such scheme shall be implemented and complied with at all times during the construction of the bund.
- REASON: To protect the amenities of the locality from the effects of any dust arising from the development.

Advisory Note(s)

Please find attached the comments of Natural Resources Wales, Rights of Way Officer and Senior Engineer (Land Drainage) that are brought to the applicant's attention.

The following policy(ies) of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 is/are relevant to the conditions of this permission: SP5, CW15, SP6, SP8, CW2, CW4, CW%, CW22 and CW23.



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Agenda Item 12

PREFACE ITEM

APPLICATION NO. 18/0123/FULL

APPLICANT(S) NAME: Studio Developments Ltd

PROPOSAL: Construct three dwellings and external works

LOCATION: Land At Grid Ref 321036 188882 Rhyd Y Gwern Lane (South Of Clos Trefeddyg) Machen

The above planning application for the construction of three detached dwellings on land to the south of Clos Trefeddyg in Machen was reported to Planning Committee on 20th June 2018 with a recommendation for approval subject to conditions. A copy of the previous report is attached as an Appendix.

At the meeting, an amendment was moved and seconded that the application be deferred to allow Officers to produce reasons for refusal on the basis that members were of the opinion that the development was unacceptable due to an adverse impact on vehicle, pedestrian and cyclist safety and also because of the detrimental impact on existing residents amenity resulting from access arrangements during the construction phase.

For the reasons outlined in the original officer's report it remains the recommendation that the application be approved.

RECOMMENDATION – That planning permission be GRANTED subject to the conditions contained in the original report. However, if Members are minded to refuse the application, the following reasons are suggested:

1. The proposed development by reason of the position and limited width of the proposed access which lies adjacent to existing boundary treatments and parking areas of 11 and 12 Clos Trefeddyg, would harm vehicular, pedestrian and cyclist safety contrary to criteria A and B of Policy CW3 of the Caerphilly County Borough Local Development Plan up to 2021 (Adopted November 2010).
2. The proposed development requires significant construction traffic movements and would by reason of the location and limited width of the site's vehicular access, have an unacceptable detrimental impact upon the amenity of the existing residents of Clos Trefeddyg, contrary to criteria A of Policy CW2 of the Caerphilly County Borough Local Development Plan up to 2021 (Adopted November 2010).

Code No. and Date Received	Name and Address of Applicant	Description and Location of Proposed Development
18/0123/FULL 05.02.2018	Studio Developments Ltd C/o CLC The Design Office 19 Heol Y Deri Rhiwbina Cardiff CF14 6HA	Construct three dwellings and external works Land At Grid Ref 321036 188882 Rhyd Y Gwern Lane (South Of Clos Trefeddyg) Machen

APPLICATION TYPE: Full Application

SITE AND DEVELOPMENT

Location: Land At Grid Ref 321036 188882, Rhyd Y Gwern Lane, (South Of Clos Trefeddyg), Machen.

Site description: The application site is an irregular shaped land parcel of mainly grassland (circa 0.85ha) located outside but adjacent to the southern boundary of the defined settlement boundary for Machen. The application site is adjacent to an existing housing development of detached dwellings (Clos Trefeddyg) which lies to the north-west with a public footpath adjacent. Numbers 7, 9, 11 and 12 Clos Trefeddyg are adjacent to the application site. To the northern side of the site is an area of woodland subject to a Tree Preservation Order. To the south-west side boundary is hedgerow dividing the application site from Rhyd Y Gwern Lane. The eastern rear boundary is comprised of hedgerow which divides the site from a neighbouring field.

Development: Construct three dwellings and external works.

Plot 1 is a five bedroom detached property with bedroom, shower room, study, utility, garage, kitchen/dining and living room area on the ground floor. At first floor level there is a master bedroom with dressing area and ensuite, two other bedrooms with shared Jack and Jill ensuite, a separate bedroom and bathroom.

Plot 2 is a detached property is a five bedroom detached property with bedroom, shower room, study, utility, garage, kitchen/dining and living room area on the ground floor. At first floor level there is a master bedroom with dressing area and ensuite, two other bedrooms with shared Jack and Jill ensuite, a separate bedroom and bathroom.

Cont'd....

Application No 18/0123/FULL Continued

Plot 3 is a detached property is a five bedroom detached property with bedroom, shower room, study, utility, garage, kitchen/dining and living room area on the ground floor. At first floor level there is a master bedroom with dressing area and ensuite, two other bedrooms with shared Jack and Jill ensuite, a separate bedroom and bathroom.

Dimensions:

Plot 1 - House and Garage is 19.2 metres by 12.8m wide (Maximum extent) with an overall height of 7.9m.

Plot 2 - House and Garage is 19.5 by 9.8m (Maximum extent) with an overall height of 7.9m.

Plot 3 - House and Garage is 16.5 by 15m (Maximum extent) with an overall height of 7.7m.

Materials:

Walls: White render with cedar boarding.

Roof: Single ply membrane with sedum roof.

Ancillary development, e.g. parking: On plot parking.

PLANNING HISTORY 2005 TO PRESENT

None.

POLICY

LOCAL DEVELOPMENT PLAN Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010.

Site Allocation: The site lies outside the defined settlement boundary.

Policies: CW2 (Amenity), CW3 (Highways), CW6 (Trees, Woodland and Hedgerow Protection), CW10 (Leisure and Open Space Provision), CW11 (Affordable Housing Planning Obligation), SP3 (Development Strategy - Development in the Southern Connections Corridor), SP4 (Settlement Strategy), SP5 (Settlement Boundaries), SP6 (Placemaking), SP10 (Conservation of Natural Heritage), and SP14 (Total Housing Requirements).

NATIONAL POLICY Planning Policy Wales, Technical Advice Note 12: Design.

Cont'd....

Application No 18/0123/FULL Continued

SUPPLEMENTARY PLANNING GUIDANCE

Supplementary Planning Guidance note LDP6 (Building Better Places to Live).

ENVIRONMENTAL IMPACT ASSESSMENT

Did the application have to be screened for an EIA? No.

Was an EIA required? No.

COAL MINING LEGACY

Is the site within an area where there are mining legacy issues? The application site is partially within a High risk area, and so it is intended to attach an informative note about mining conditions in the area.

CONSULTATION

Bedwas, Trethomas & Machen Community Council – Raises concern about access.

The Coal Authority - No objection subject to planning condition requiring a site investigation to address Coal mining legacy issues.

Ecologist - Habitats and Vegetation - Notable Species
Native bluebell, a local and declining species was found to be present in the hedgerows on the site.

Notable Habitats

The site contains native hedgerows and also lies immediately adjacent to an offsite native woodland compartment, both of which are listed under Section 7 of the Environment (Wales) Act 2016 as habitats of principal importance for the conservation of biodiversity of Wales.

Native Hedgerow

A native hedgerow forms the south eastern site boundary. This hedgerow can be considered to have high local value. It fulfils its historic function as an effective field boundary and has an associated bank and ditch along its length. It comprises a total of eight native woody species and may possibly attain the status of an "important hedgerow" as defined by the Hedgerow regulations 1997. Native bluebell was recorded in both the native and non-native hedgerows. The hedgerow trees are likely to provide nesting opportunities for common bird species and may also support roosting bats.

Cont'd....

Application No 18/0123/FULL Continued

Common reptiles and amphibians may also shelter, forage and hibernate within the earth bank among the roots.

Non Native Hedgerow

The south western boundary also comprises a densely planted conifer hedge and associated earth bank but the main species is Lawson's Cypress. The roadside bank found a number of semi natural woodland indicator species.

Ruderal Vegetation

Tall, coarse species such as docks and thistles are scattered throughout the site, but are particularly frequent in areas which have suffered from past ground disturbance.

Marshy Grassland

The central area of the site comprises marshy grassland, which grades into neutral grassland away from the centre. The area of marshy grassland can be seen to have increased in comparison to the site habitats in 2008.

Species Poor Semi Improved Natural Grassland

This habitat is present around the edges of the site surrounding the patch of marshy grassland.

Barge Ground / Ephemeral Species.

The partly gravelled public footpath which runs along the fence line at the north western site perimeter supports ruderal and ephemeral pioneer species. The intensively shaded area at the site entrance is bare in places but otherwise supports low growing species.

Non Native Invasive Species

Himalayan Balsam has become established within the grassland as scattered individual plants near the topsoil mound. This species is listed on Schedule 9 of the Wildlife and Countryside Act (as amended) and as such it is an offence to cause it to spread in the wild either 'recklessly' or 'deliberately'. Japanese knotweed was recorded in the 2008 survey in several locations, but was not seen in the recent survey.

Bats

Most of the trees on site appeared unsuitable for occupation by bats with the exception of some oaks on the south eastern site boundary, which had Potential Roost Features (PRF's) such as broken upper limbs and a sycamore which had a large cavity at the base. These were assessed as Category 2B as they had very few potential roost features. Other larger trees elsewhere did not appear to support these features. A Bat Activity Survey was undertaken on the 16th June 2008 by DCE found foraging over the site by three species of bat: Common pipistrelle, a myotis which was attributed to the Whiskered/Brandt's group and Noctule. No bats were suspected as having emerged

Cont'd....

Application No 18/0123/FULL Continued

from the trees on the site, which were not assessed as being exceptional regarding bat roosting potential at the time. The grassland habitat on the site and adjacent woodland are highly suitable as a foraging resource for bats, while the boundary hedgerows provide shelter during commuting.

Otter

Otter is well established on the River Rhymney, with existing records from approximately 230m away from the site there are no habitat present on the site which would support this species and it is unlikely to occur on the site unless it was a casual incursion.

Dormouse

A detailed nest tube survey was undertaken in 2008 by DCE. No evidence of dormouse was found on the site at the time. A nut search was also carried out within areas of hazel during the present survey in 2017, but no evidence was found to indicate its current presence on site. Although the eastern boundary hedge and adjacent woodland could potentially support this species and there is some degree of connectivity with the wider countryside where this species is established. It is not considered necessary to carry out future surveys for dormouse, provided that the proposed new tree planting is implemented in full, which would provide a natural buffer between the new development and the retained semi natural habitats. This area should not be open to public access or be incorporated into the gardens.

Badger

Badger has been recorded approximately 500m from the site in recent years and appears to be well established to the north and south east of the site. there was no evidence that this species was present on site although the habitats are suitable to provide a foraging resource. The adjacent woodland could potentially provide a location for a sett, although they are close to human habitation.

Other Mammal Species

A range of common and ubiquitous mammals are likely to occur on site, including species such as rabbit, mice, voles and shrews, etc. these are likely to comprise a mixture of resident species such as brown rat, bank vole or house mouse as well as casual visitors such as fox.

Birds

The survey recorded eight species of bird, either on site or flying over it, namely wood pigeon, blackbird, chaffinch, carrion crow, blue tit, green woodpecker, robin and coal tit. It is likely that a few of these species may nest on site. It is also likely that song thrush and dunnock may also potentially nest on the site.

Cont'd....

Application No 18/0123/FULL Continued

Reptiles

No reptiles were seen on site during the survey, but the grassland, soil mounds and hedge banks have the potential to support these species. The scattered wooden debris which was lying on the grassland near the homes may also act as a potential refugia, but only slugs were found beneath when lifted on this occasion. Local recent records of reptiles within the search boundary include common lizard, slow worm, grass snake and adder.

Amphibians

No common amphibians were found on site during the survey, but the grassland and hedge banks could potentially provide shelter and foraging opportunities for these species. Although there are no waterbodies on site for breeding, it is likely that common frog and toad and palmate and smooth newt do occur on the site and also within the surrounding habitats. There are recent records for common frog and toad, palmate newt and smooth newt in the site vicinity, mainly from gardens. There are no records of the rare and specially protected great crested newt anywhere within 1km of the site.

Invertebrates

No pre-existing records of invertebrates for within the search boundary. A range of common and ubiquitous invertebrates were seen on site during the survey, namely tortoise shell butterfly, a caterpillar of the buff tip moth, a dung beetle, common garden snail and yellow meadow ant. Overall the site is assessed as being likely to support a wide range of common and ubiquitous invertebrates associated with marshy grassland and neutral grassland, ruderal vegetation and woodland.

The development proposal is a low impact housing development of two or three residential dwellings with associated infrastructure, gardens, etc. a band of new native woodland is to be planted at the rear of the site, to link the offsite woodland compartment.

Senior Engineer (Land Drainage) - Offers no objection to the development, highlights that the site is situated within an area susceptible to groundwater flooding. Recommends a planning condition requiring details of surface water/land drainage be attached to any permission.

Head Of Public Protection - Environmental Health have no objection subject to conditions on contamination.

Senior Arboricultural Officer (Trees) - Offers no objection to the development subject to the submission of Tree Protection Plan.

Cont'd....

Application No 18/0123/FULL Continued

CCBC Housing Enabling Officer - Advises that a commuted sum for off-site affordable housing for the development is £81,014.

Landscape Architect - Offers no objection to the development. Highlights that Tree and hedgerow protection and retention will be vital to help retain the rural character of this edge-of-village location. Recommends that further details are obtained in respect of Landscaping and Tree Protection measures.

Transportation Engineering Manager - No objection subject to planning condition addressing detailed highway considerations.

Dwr Cymru - No objections.

Rights Of Way Officer - There is one Public Right of Way: Footpath 6 in the Parish of Rhydygwern in the area of the proposed development.

There is no objection subject to the following:

The access is shown to cross the public right of way. The levels of the public right of way are not to be altered where the public right of way crosses the access road. Details of the construction to be submitted prior to work commencing;

The footpath if bounded on both sides is to be a minimum of 1.8m wide, and the use of close boarded fence adjacent to the footpath to be limited especially on blind corners to protect the safety of the public using the public right of way;

The path must be protected during construction and remain open and usable at all times, unless a Temporary Traffic Regulation Order is in place.

Strategic & Development Plans - The site is a greenfield site outside of the settlement boundary in the Southern Connections Corridor as defined in the LDP, where the strategy promotes development on previously developed land rather greenfield sites. On this basis, the proposal is not considered to accord with the strategy of the LDP. This conflict with policy needs to be weighed up against other material considerations, including the 5 year land supply. The recent appeal decisions for larger greenfield sites in the same strategy area have seen significant weight afforded to the shortfall in housing, with the sustainability of the location and harm to the surroundings being key factors.

Cont'd....

Application No 18/0123/FULL Continued

Whilst Machen is a small village, it is recognised as having a residential function and is served by key facilities including a library, school and shops and bus route. Whilst this site is on the edge of the settlement, it is a logical extension and would be considered to be a sustainable location.

On balance, there is no policy objection to the proposed development subject to all relevant technical considerations being met.

Natural Resources Wales - No objection.

CADW - There are no scheduled monuments or registered historic parks and gardens within the vicinity of the proposed development. Do not wish to comment on the application.

ADVERTISEMENT

Extent of advertisement: The application was advertised via a site notice, press notice and 15 neighbour notification letters were sent. Following the receipt of amended plans a reconsultation has been carried out.

Response: In relation to the initial consultation exercise a letter was received that was submitted on behalf of residents of Clos Trefeddyg from a planning consultancy. This combined letter states it has been prepared on behalf of 20 residents from 12 properties within the street. A separate representation was also received from one of the signatories of the combined letter.

In relation to the reconsultation on amended plans a further joint letter on behalf of residents of Clos Trefeddyg was received stating that they were very disappointed that the developer has made little change to the original plans submitted and has not sought to address the grounds for objection contained in their original objection.

Summary of observations: - Inappropriate Location for development and not in accordance with Local Development Plan Policies.

- The site is not brownfield land as claimed by the applicant.
- Unsuitable access and highway safety matters including danger to children living and playing within the existing housing development.
- The site is in a generally unsustainable location and this is evident by the number of vehicles proposed in the application. As such there will be an over reliance on travel by private car.
- The increase in vehicle movements associated with the proposal will result in an intensification of use of existing infrastructure which is not designed to accommodate the increase, potentially resulting in safety concerns.

Cont'd....

Application No 18/0123/FULL Continued

- Size of existing private drive and Visibility from existing driveways onto access road.
- Existing parking problems.
- If the development does proceed access should be from Rhydd Y Gwern lane.
- The design of the proposals does not accord with local policy in terms of parking, as does not appropriately consider the impacts of servicing and waste collection.
- Insufficient privacy distances due to topography and relationship between existing dwellings and the proposed dwellings especially plot 3 leading to overlooking and overshadowing.
 - The proposed housing density does not comply with objectives within national or local policy.
- Adverse Impact on the Public Right of way and scenic nature of an existing walk.
- Impact on nature.
- Surface water flooding may impact existing residents.
- Risk to Stability of Land.
- Housing Land Supply should not be considered relevant as development would not comply with other policies.
- The proposals constitute an inappropriate and unsustainable development of the application site which would have the potential to erode the amenity and privacy of the adjacent residential properties and give rise to unacceptable transport and traffic impacts.
- Application site is within an area designated for Coal Safeguarding under Policy SP8 (Mineral Safeguarding).
- Conflict of interest between the development company and the funding bank.

SECTION 17 CRIME AND DISORDER ACT

What is the likely effect of the determination of this application on the need for the Local Planning Authority to do all it reasonably can to prevent crime and disorder in its area?

It is not considered that crime and disorder will be materially affected by the development.

EU HABITATS DIRECTIVE

Does the development affect any protected wildlife species?

A survey was carried out and no evidence was found, but an advisory note will be attached to the consent and sent to the applicant as a precautionary measure.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

Is this development Community Infrastructure Levy liable? The development is CIL liable, and the application site is located with the Higher Viability Zone, which carries a rate of £40 per square metre of internal floor space.

Cont'd....

Application No 18/0123/FULL Continued

ANALYSIS

Policies:

The application has been considered in accordance with national guidance, local plan policy and supplementary planning guidance.

The main considerations for the application are the Planning Policy implications of the location of the application site, impact on neighbour amenity and highway considerations.

The application site is located adjacent to but outside of the defined settlement boundary on land now considered to be greenfield and therefore the proposed development is considered to not accord with adopted Local Development Plan Policy SP5 (Settlement Boundaries) and would not accord with the provisions of Policy CW15 (General Locational Constraints). As such it is considered to be a departure from the Local Development Plan. It is noted that all planning applications must be determined in accordance with policies in the Development Plan, unless material considerations indicate otherwise. In that respect material planning considerations that may be weighed up in relation to the application are discussed below.

In relation to National Planning Guidance, Technical Advice Note 1 (Joint Housing Land Availability Studies) indicates that the housing land supply figure is a material consideration in determining planning applications for housing. Specifically paragraph 6.2 of TAN1 states "Where the current study shows a land supply below the 5-year requirement or where the local planning authority has been unable to undertake a study), the need to increase supply should be given considerable weight when dealing with planning applications provided that the development would otherwise comply with development plan and national planning policies. It is noted that at this time Welsh Government are undertaking a public consultation on the possible temporary dis-application of paragraph 6.2. However, to date no decision has been made by Welsh Government and therefore paragraph 6.2 of TAN1 remains relevant to the consideration of this planning application and considerable weight should be given to any Housing land supply shortage.

The consultation response of the Council's Strategic & Development Plans section confirms that the latest Annual Monitoring Report (AMR), which is the main mechanism for reviewing the relevance and success of the Local Development Plan, has identified that there is a need for a further 4,012 dwellings to be developed over the remainder of the plan period (by 2021) to meet the total housing requirement for the plan period. There is a shortfall in the five year land supply as defined by TAN1 which is currently at 2.1 years. The proposed development would therefore make a small contribution to addressing the housing land supply shortfall.

Cont'd....

Application No 18/0123/FULL Continued

Planning Policy Wales has the provision of more choice as an objective and states that, "There must be sufficient site suitable for the full range of housing types." This proposal clearly addresses the larger, low density end of that range.

There have been two recent planning appeal decisions on significant greenfield sites outside of the settlement boundary in the same strategy area - Land South of Pandy Road, Bedwas (up to 300 dwellings) issued on 31st January 2017 and Land North of Hendredenny Drive, Hendredenny, Caerphilly (260 dwellings) issued on 4th October 2017.

In the Pandy Road planning appeal decision, the Inspector concluded "Whilst the proposal does not accord with the development plan...the considerable shortfall in housing supply should be given substantial weight and weighs heavily in favour of the proposal."

This stance is reiterated in the Hendredenny planning appeal decision, with the Inspector stating "the extent of the shortfall weighs heavily in favour of development that can proceed without causing harm to its surroundings".

It is however noted that the current application site is on a much smaller scale to those appeal sites and hence the contribution to the land supply would therefore be far less but none the less the current application would contribute towards the shortfall and this remains a material consideration.

In respect of the application site, it is noted that whilst outside of the defined settlement boundary, it is adjacent to the settlement boundary and also existing housing. The site is situated in a relatively well contained land parcel, separated from extensive open countryside by the woodland to the north, hedge lines to the east and south and the Clos Trefeddyg to the west. As such, being a relatively self contained land parcel, it can be considered as rounding off the existing settlement without setting a precedent for extensive encroachment into the open countryside. As noted by the Strategic & Development Plan section whilst Machen is a small village, it is recognised as having a residential function and is served by key facilities including a library, school and shops and bus route. Whilst this site is on the edge of the settlement, it is a logical extension and would be considered to be a sustainable location.

The impact of the proposed development upon the amenity of occupiers of existing properties is also a material planning consideration. The general topography of the area undulates, but broadly rises from north-west to south-east and as such the proposed dwellings would be set at a higher level than the existing dwellings within Clos Trefeddyg. The three dwellings proposed are of a modern appearance and plot 3 is

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closest to numbers 7, 9 and 11 Clos Trefeddyg whose rear amenity space and rear elevations face towards plot 3. The orientation of plot 3 is angled in relation to those dwellings and the north-west facing side elevation has limited fenestration with windows serving a ground floor bedroom and utility room and no upper floor fenestration facing those properties.

In respect of the impact of plot 3 on the current levels of amenity enjoyed by the occupiers of numbers 7, 9 and 11 Clos Trefeddyg, following discussions with the agent revisions to the proposed siting of plot 3 were made to increase the separation distance. This was considered appropriate due to the level differences between the existing dwellings and the proposed dwelling whose ground level would be approximately 3.3 metres higher than those properties in Clos Trefeddyg due to the natural ground levels involved. The revised site plan achieves a separation distance between the footprint of the proposed dwelling on plot 3 and number 11 Clos Trefeddyg in excess of 23 metres. There would be a greater separation distance in respects of number 7 and 9 Clos Trefeddyg. The separation distance achieved between habitable room windows on plot 3 and 7,9 and 11 Clos Trefeddyg would be in excess of 25 metres which taking into account the level difference is considered to avoid any unacceptable overlooking.

The agent has made a further revision in relation to plot 3 seeking to reduce the finished floor level of plot 3 by 1.5 metres. Whilst the ground level of the proposed plot 3 dwelling would still be around 2 metres above the properties in Clos Trefeddyg, given the separation distances, limited fenestration on the relevant elevation of the new dwelling and its angled orientation it is considered that there will be an acceptable impact on neighbour amenity from the proposed dwellings.

The impact of the proposed development on number 12 Clos Trefeddyg is considered acceptable noting that its side elevation faces the application site and the footprint of the dwelling on plot 1 which is the closest proposed dwelling is in excess of 21 metres away. The development would accord with adopted Local Development Plan Policy CW2 (Amenity) in having an acceptable impact on the amenity of occupiers of the existing housing.

The development would be accessed via an existing private drive at the eastern end of Clos Trefeddyg which currently serves numbers 11 and 12 Clos Trefeddyg. The proposed three dwellings would make a total of five properties served from the private drive which is in accordance with the Highway Authority requirements. The Highway Authority have reviewed the planning application and have offered no objections to the proposed development. It is considered that the development would accord with adopted Local Development Plan Policy CW3 (Highways).

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It is noted that the proposed design of the dwellings is different to the adjacent residential housing development with use of a modern design with monopitch roof forms utilising sedum 'green' roofs, solar panels and rendered walls with cedar board cladding and architectural glazing element. It is considered on balance that the proposed contemporary design is acceptable according with adopted Local Development Plan Policy SP6 (Placemaking).

Comments from Consultees: Addressed in the body of the report.

Comments from public:

- Inappropriate Location for development and not in accordance with Local Development Plan Policies.

This has been considered within the body of the report.

- The site is not brownfield land as claimed by the applicant.

The definition of previous developed land is set out within Figure 4.4 of Planning Policy Wales. It identifies a number of exclusions from the definition of previously developed land including "land where the remains of any structure or activity have blended into the landscape over time so that they can reasonably be considered part of the natural surroundings." As evidence of any past use has blended into the landscape, it is considered that the site would not be considered to be previously developed land in policy and is consequently considered to be a greenfield site and has been considered as such in the determination of this application.

- Unsuitable access and highway safety matters including danger to children living and playing within the existing housing development.

The Highway Authority have considered the proposed access arrangements and have offered no objections to the development.

- The site is in a generally unsustainable location and this is evident by the number of vehicles proposed in the application. As such there will be an over reliance on travel by private car;

Whilst Machen is a small village, it is recognised as having a residential function and is served by key facilities including a library, school and shops and bus route. Whilst this site is on the edge of the settlement, it is a logical extension and would be considered to be a sustainable location. Facilities, including bus stops are within walking distance.

- The increase in vehicle movements associated with the proposal will result in an intensification of use of existing infrastructure which is not designed to accommodate the increase, potentially resulting in safety concerns;

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The Highway Authority have considered the application and have not objected to the proposed dwellings. Given the modest size of the development (3 houses) the increase in associated traffic movements would be extremely low, generating an increase well within normally accepted limits as regards the impact on highway safety.

- Size of existing private drive and Visibility from existing driveways onto access road. Noting the limited number of dwellings proposed in this application and served by the existing private drive it is considered that the development would be acceptable. Reference is made in relation to the width of the existing portion of drive (circa 3.6m) that it would be unsuitable for the development. This portion of the private drive is restricted in length to approximately 15 metres. It is noted that the new portion of private drive proposed would be 4.5m and the interface with the existing spur access would be such that cars on the proposed private drive could view the existing portion of Clos Trefeddyg and if necessary pause to allow another vehicle to access over the limited length of 3.6m wide private drive. The existing portion of private drive is surfaced in pavements which differentiates the surface from the rest of Clos Trefeddyg and could function similar to a shared surface. Manual for Streets indicates that "Shared surface streets are often constructed from pavements rather than asphalt, which helps emphasise their difference from conventional streets. Research for MfS has shown that block paving reduces traffic speeds by between 2.5 and 4.5 mph, compared with speeds on asphalt surfaces" (MfS paragraph 7.2.15). A portion of fencing will be required to be removed to facilitate the access onto the application site. In respect of additional fencing to the side of numbers 11 and 12 Clos Trefeddyg these are areas adjacent to their driveways either in front or to the side of the dwellings.

- Existing parking problems

Each property would have parking areas able to accommodate three vehicles and a planning condition is proposed restricting the garages to be used for parking purposes.

- If the development does proceed access should be from Rhydd Y Gwern lane. Direct access onto Rhydygwern Lane would not be considered to be suitable as it is substandard in terms of its width, forward visibility, horizontal alignment and lack of footways.

- The design of the proposals does not accord with local policy in terms of parking, and does not appropriately consider the impacts of servicing and waste collection. Parking for the proposed properties is compliant with Supplementary Planning Guidance document LDP5 Car Parking Standards; ample off-street parking is evident for the existing dwellings on Clos Trefeddyg which should not lead to excessive on-street parking to the point where the highway becomes too narrow to facilitate access.

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With regards to service vehicles accessing the new dwellings, the turning head proposed as part of the extended private driveway is of adequate size to accommodate these. In terms of refuse collection, all bins would need to be left on the adopted highway for the bin lorry to collect, as is the case for existing residents;

- Insufficient privacy distances due to topography and relationship between existing dwellings and the proposed dwellings especially in relation to plot 3 leading to overlooking and overshadowing.

Following discussions amendments have been made to plot 3 to increase separation distance and lower the slab level. It is considered the development will have an acceptable impact on neighbour amenity.

- The proposed housing density does not comply with objectives within national or local policy.

It should be noted that the Local Development Plan does not prescribe a density for residential development. One of the key objectives of the LDP is "to ensure an adequate and appropriate range of housing sites are available across the County Borough in the most suitable locations to meet the housing requirements of all sections of the population." The site is not a key transport node and therefore a lower density in this location is appropriate and this accords with advice contained within national guidance (Planning Policy Wales) and Local Development Plan Policy SP6 (Placemaking).

- Adverse Impact on the Public Right of way and scenic nature of an existing walk. The public right of way is required to be kept open. The Rights of Way Officer has provided advice in this regard which will be provided as an informative to the developer. The application site is not a formally designated open space and the existing housing already impacts on the right of way.

- Impact on nature.

The Council's Ecologist has reviewed the Ecological Assessment submitted with the planning application and has offered no objections to the development. A portion of the rear garden areas of plots 2 and 3 have been identified as an 'Ecology Zone' and tree planting is proposed. A planning condition is proposed to restrict outbuildings on this area.

- Surface water flooding may impact existing residents.

The Land Drainage Officer has reviewed the application and has offered no objection to the planning application. A drainage scheme is required to be submitted prior to the commencement of development. In addition separate legislation requires land owners to address matters related to surface water run off.

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- Risk to Stability of Land.

The Coal Authority have advised that site investigations are required to be submitted for the written agreement of the Local Planning Authority through proposed planning conditions for coal mining and contamination and any remedial measures recommended will have to be complied with by the development.

- Housing Land Supply should not be considered relevant as development would not comply with other policies.

The housing land supply is a material planning consideration and this has been considered in conjunction with both National and Local Planning Policies.

- The proposals constitute an inappropriate and unsustainable development of the application site which would have the potential to erode the amenity and privacy of the adjacent residential properties and give rise to unacceptable transport and traffic impacts.

These concerns have been addressed within the body of this report and on balance the development is considered acceptable.

- Application site is within an area designated for Coal Safeguarding under Policy SP8 (Mineral Safeguarding).

In respect of the designation this site forms a very small part of the much larger Coal Safeguarding Area. No interest in exploiting the Coal resource in this area has been received in a significant period of time and the need for housing as shown through the Housing Land Supply shortfall has to be balanced against such designations. The impact of the site being used for residential is considered to be negligible in terms of the impact on the entire Coal Safeguarding area and it is not considered that a refusal of the application on the basis of its designation within the Coal Safeguarding Area would be appropriate. It is unlikely in any case that permission would be granted for mineral exploration so close to existing housing.

- Alleged conflict of interest between the development company and the funding bank. This is not a material planning consideration.

Other material considerations:

Noting the restricted number of dwellings and a precedent set by a recent approval for a similar of number of dwellings in close proximity to the site (15/0139/FULL The Ranch New Row) it is considered that it would not be reasonable to require public open space to be provided within the development.

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Section 106 requirements must be necessary to make the development acceptable in planning terms, directly related to the development, and fairly and reasonably related in scale and kind to the development. The proposed commuted sum for affordable housing passes the first two tests in that policy requirement, and due to the nature of the scheme affordable housing cannot be erected on site, but at over £27,000 per plot it cannot be considered to be fairly and reasonably related in scale and kind to the proposal. Housing was recently approved at Islwyn Bowls Club where sums of £13,502 per plot were agreed. That would be a reasonable sum to secure at this site as well giving a total of £40,506.

The duty to improve the economic, social, environmental and cultural well-being of Wales, has been considered in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015. In reaching the recommendation below, the ways of working set out at section 5 of that Act have been taken into account, and it is considered that the recommendation is consistent with the sustainable development principle as required by section 8 of that Act.

It is considered that the development proposed is acceptable noting that whilst outside the defined settlement boundary it would provide a contribution towards the acknowledged Housing Land Supply shortfall and the characteristics of the site, being a well screened and relatively self-contained land parcel would provide a logical extension to the existing settlement not likely to set a precedent for excessive encroachment into open countryside. In relation to concerns over density, whilst it is acknowledged the site would be very low density the only practicable access is a via the existing private drive and the development would result in a total of five dwellings (including the two existing dwellings on Clos Trefeddyg already served from it). This is the maximum numbers of dwelling allowed to be served from a private drive by the Highway Authority and therefore provides a constraint to providing any development at greater density. It is considered on balance that the development is acceptable and is recommended for approval accordingly.

RECOMMENDATION that (A) the application be deferred to allow the applicants to enter into a Section 106 Obligation to provide the following:-

1. A commuted sum payment in relation to Affordable Housing of £40,506.

On completion of the Section 106 Obligation that (B) planning permission is granted subject to the following conditions:

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This permission is subject to the following condition(s)

- 01) The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
REASON: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
- 02) The development shall be carried out in accordance with the following approved plans and documents:
Site Location Plan, drawing reference 2266-PA-01, received 05.02.18;
Site Plan, drawing reference 2266/PA/03B, received 16.05.18;
Landscaping Plan, drawing reference 2266/PA/04B, received 16.05.18;
Proposed Plans Plot 1, drawing reference received 05.02.18;
Proposed Elevations Plot 1, drawing reference 2266/PA/06, received 05.02.18;
Proposed Plans Plot 2, drawing reference 2266/PA/07, received 05.02.18;
Proposed Elevations Plot 2, drawing reference 2266/PA/08, received 05.02.18;
Proposed Plans, Plot 3, drawing reference 2266/PA/09, received 05.02.18;
Proposed Elevations Plot 3, drawing reference 2266/PA/10, received 05.02.18;
Typical Garden Fencing Detail, drawing reference 2266/PA/11, received 05.02.18;
Site Section Plot 3, drawing reference 2266/PA/20B received 16.05.18.
REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.
- 03) The roof area of the single storey garage/utility room on plot 3 shall not be used as a balcony, roof garden or similar amenity area.
REASON: In interests of the amenity of neighbours.
- 04) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that order) with or without modification, no windows or dormer windows, other than those expressly authorised by this permission, shall be constructed without the approval of the Local Planning Authority.
REASON: In the interests of residential amenity.
- 05) No vegetation clearance, works or development shall take place until a scheme for the protection of the retained trees (section 7, BS59837, the Tree Protection Plan) has been agreed in writing with the Local Planning Authority. This scheme shall where the Local Planning Authority consider appropriate include:
 - a) a plan to a scale and level of accuracy appropriate to the proposal that shows

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- the position, crown spread and Root Protection Area (para. 5.2.2 of BS5837) of every retained tree on site and on neighbouring or nearby ground to the site in relation to the approved plans and particulars. The positions of all trees to be removed shall be indicated on this plan,
- b) the details of each retained tree as required at para. 4.2.6 of BS5837 in a separate schedule,
 - c) a schedule of tree works for all the retained trees in paragraphs (a) and (b) above, specifying pruning and other remedial or preventative work, whether for physiological, hazard abatement, aesthetic or operational reasons. All tree works shall be carried out in accordance with BS3998, 1989, Recommendations for tree work,
 - d) written proof of the credentials of the arboricultural contractor authorised to carry out the scheduled tree works,
 - e) the details and positions (shown on the plan at paragraph (a) above) of the Ground Protection Zones (section 9.3 of BS5837),
 - f) the details and positions (shown on the plan at paragraph (a) above) of the Tree Protection Barriers (section 9.2 of BS5837), identified separately where required for different phases of construction work (e.g. demolition, construction, hard landscaping). The Tree Protection Barriers must be erected prior to each construction phase commencing and remain in place, and undamaged for the duration of that phase. No works shall take place on the next phase until the Tree Protection Barriers are repositioned for that phase,
 - g) the details and positions (shown on the plan at paragraph (a) above) of the Construction Exclusion Zones (section 9 of BS5837),
 - h) the details and positions (shown on the plan at paragraph (a) above) of the underground service runs (section 11.7 of BS5837),
 - i) the details of any changes in levels or the position of any proposed excavations within 5 metres of the Root Protection Area (RPA) (para. 5.2.2 of BS5837) of any retained tree, including those on neighbouring or nearby ground,
 - j) the details of any special engineering required to accommodate the protection of retained trees (section 10 of BS5837), (e.g. in connection with foundations, bridging, water features, surfacing)
 - k) the details of the working methods to be employed with the demolition of buildings, structures and surfacing within or adjacent to the RPAs of retained trees,
 - l) the details of the working methods to be employed for the installation of drives and paths within the RPAs of retained trees in accordance with the principles of "No-Dig" construction,
 - m) the details of the working methods to be employed with regard to the access

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for and use of heavy, large, difficult to manoeuvre plant (including cranes and their loads, dredging machinery, concrete pumps, piling rigs, etc) on site,
 n) the details of the working methods to be employed with regard to site logistics and storage, including an allowance for slopes, water courses and enclosures, with particular regard to ground compaction and phytotoxicity,
 o) the details of the method to be employed for the stationing, use and removal of site cabins within any RPA (para. 9.2.3 of BS5837),
 p) the details of tree protection measures for the hard landscaping phase (sections 13 and 14 of BS5837).
 q) the timing of the various phases of the works or development in the context of the tree protection measures.

The development shall thereafter be carried out in accordance with the agreed details.

REASON: In the interests of visual amenity.

- 06) Prior to the commencement of the development a scheme depicting hard and soft landscaping shall be submitted to and agreed in writing by the Local Planning Authority. The agreed details shall be carried out in the first planting and/or seeding season following the beneficial occupation of the third dwelling of the development. Any trees or plants which within a period of 5 years from the completion of the development die or are removed, or become seriously damaged or diseased, shall be replaced in the next planting season with others of similar size and species unless the Local Planning Authority gives written consent to any variation.

REASON: In the interests of the visual amenity of the area.

- 07) Details of land drainage shall be submitted to and agreed in writing with the Local Planning Authority before the works commence and shall be carried out in accordance with the agreed details before the development is brought into use.

REASON: To ensure that the development is appropriately drained.

- 08) The demolition or site vegetation clearance associated with the development hereby approved shall not take place during the breeding season for birds, from March to August inclusive in any given year, unless otherwise agreed in writing by the Local Planning Authority.

REASON: To ensure that breeding birds are protected. All British birds, their nests and eggs (with certain limited exceptions) are protected by law under Section 1 of the Wildlife and Countryside Act 1981 (as amended) and the Countryside and Rights of Way Act 2000.

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- 09) If mature trees along the south eastern boundary originally identified to be retained require felling or tree management work as part of the development hereby approved, a climbing inspection for bats shall be carried out before such works take place, and the results of the survey, together with details of any proposed mitigation measures shall be submitted for the approval of the Local Planning Authority. The development shall thereafter be carried out in accordance with the approved measures.
REASON: To ensure proper measures are taken to safeguard the habitat of protected species, in the interests of biodiversity.
- 10) Prior to the commencement of works on site, details of the garden boundary fence to be erected inside the existing hedgerows, in order to exclude the hedgerows from within the garden boundaries, shall be submitted to the Local Planning Authority for approval. The approved details shall be strictly complied with and shall be implemented before the new dwelling hereby approved is first occupied.
REASON: To ensure the protection of bat foraging habitat.
- 11) Prior to the commencement of development details of the lighting of the development shall be submitted to and agreed in writing by the Local Planning Authority. The development shall be carried out in accordance with the agreed scheme.
REASON: To ensure adequate protection to protected species.
- 12) No development or site/vegetation clearance shall take place until a detailed Reptile Mitigation Strategy has been prepared by a competent ecologist and submitted to and agreed in writing by the Local Planning Authority. The approved measures shall be strictly complied with.
REASON: To ensure that reptiles are protected.
- 13) Prior to the commencement of works on site, a method statement shall be submitted for approval to the Local Planning Authority detailing the treatment of Himalayan Balsam and Japanese Knotweed on site. The treatment of Himalayan Balsam and Japanese Knotweed shall be carried out in accordance with the approved details.
REASON: It is an offence under the Wildlife and Countryside Act 1981 (as amended) to "introduce, plant or cause to grow wild any plant listed in Schedule 9 Part 2 of the Act" . Japanese Knotweed and Himalayan Balsam is included within this schedule. All Japanese knotweed waste (the plant itself or material containing its rhizome) is classed as controlled/special waste and therefore must be disposed of in accordance with the Environmental Protection Act 1990 and the Environmental Protection Act Duty of Care Regulations 1991.

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- 14) The bat tube for roosting bats and the Sparrow Terrace bird box for house nesting birds to be located on plots 1, 2 and 3 as shown on the submitted plans (drawings: 2266/PA/06, 2266/PA/08 and 2266/PA/10) shall be incorporated on the elevations as shown on the submitted plans. The bat tubes and bird boxes shall be incorporated on the buildings before the new properties hereby approved are first occupied.
REASON: To provide additional roosting for bats as a biodiversity enhancement, in accordance with Part 1 Section 6 of the Environment (Wales) Act 2016, and policy contained in Welsh Assembly Government's Planning Policy Wales (2016) and Tan 5 Nature Conservation and Planning (2009).
- 15) The native hedgerows, retained habitat and ecology zone, shall be protected and managed in accordance with a 5 year management plan to be submitted to and agreed in writing by the Local Planning Authority before the commencement of any works on site. That plan shall include the timing of its implementation.
REASON: In the interests of biodiversity conservation and enhancement in accordance with Part 1 Section 6 of the Environment (Wales) Act 2016, and policy contained in Welsh Assembly Government's Planning Policy Wales (2016) and Tan 5 Nature Conservation and Planning (2009).
- 16) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that order) with or without modification, no building or enclosure, swimming or other pool required for a purpose incidental to the enjoyment of a dwelling house as such shall be constructed in those areas forming the Ecology Zone located to the south-east of the proposed new native hedgerow and associated boundary fencing for plots 2 and 3 on the same side as the proposed 9 pedunculate oak trees as shown on drawing 2266/PA/04A without the approval of the Local Planning Authority.
REASON: In the interests of amenity.
- 17) Notwithstanding the provisions of the Town & Country Planning Act (General Permitted Development) Order 1995 (or any Order revoking or re-enacting that Order) the garages approved as part of this development shall not be physically altered or converted to any other domestic purpose without the prior approval of the Local Planning Authority. The garages shall be made available at all times for the parking of motor vehicles associated with the residential use of the dwellings hereby approved.
REASON: To ensure that adequate parking facilities are provided within the curtilage of the site.

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- 18) The development shall not be occupied until the area indicated for the parking of vehicles has been laid out in accordance with the submitted plans and that area shall not thereafter be used for any purpose other than the parking of vehicles.
REASON: In the interests of highway safety.
- 19) The proposed private driveway serving the development shall be constructed in permanent materials to have been first agreed in writing with the Local Planning Authority and shall be completed prior to beneficial occupation of the development hereby approved.
REASON: In the interests of highway safety.
- 20) Rainwater run-off shall not discharge into the highway surface water drainage system.
REASON: In the interests of highway safety.
- 21) Prior to the commencement of the development a scheme shall be submitted to and agreed in writing by the Local Planning Authority to deal with the contamination of the site. That scheme shall include a ground investigation and a risk assessment to identify the extent of the contamination and the measures to be taken to avoid risk to the occupants of the development when the site is developed. The development shall be carried out in accordance with the approved scheme.
REASON: In the interests of public health.
- 22) Before any soils or hardcore that do not fall within the green category set out in Table 2 of the WLGA document 'Requirements for the Chemical Testing of Imported Materials for Various End Uses and Validation of Cover Systems 2013' are brought on to site, a scheme for their importation and testing for contamination shall be submitted to and agreed in writing with the Local Planning Authority. The development shall thereafter be carried out in accordance with the approved scheme.
REASON: To prevent contamination of the application site in the interests of public health.
- 23) No building approved by this permission shall be occupied or approved uses commence until a report has been submitted to and approved in writing by the Local Planning Authority which verifies that the required works have been undertaken in accordance with the remediation strategy.
REASON: To protect public health.

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- 24) Prior to the commencement of development a Site Investigation of the underground strata shall be submitted for the written approval of the Local Planning Authority. The report shall include:
- The undertaking of an appropriate scheme of intrusive site investigations;
 - The findings arising from the intrusive site investigations;
 - A scheme of remedial works.
- The development shall be carried out in accordance with the approved report's recommendations including any remedial works.
REASON: To avoid the possible risk of damage due to mining subsidence.
- 25) Notwithstanding the submitted plans prior to the commencement of the development a scheme shall be submitted to and agreed in writing by the Local Planning Authority indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed in accordance with the approved details before the occupation of the dwellings.
REASON: In the interests of the visual amenities of the area.
- 26) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that order) with or without modification, no enlargement of the dwelling hereby approved on plot 3 shall be constructed without the approval of the Local Planning Authority.
REASON: In the interests of residential amenity.

Advisory Note(s)

The proposed development lies within an area that has been defined by the Coal Authority as containing potential hazards arising from former coal mining activity. These hazards can include: mine entries (shafts and adits); shallow coal workings; geological features (fissures and break lines); mine gas and previous surface mining sites. Although such hazards are seldom readily visible, they can often be present and problems can occur in the future, particularly as a result of development taking place.

It is recommended that information outlining how the former mining activities affect the proposed development, along with any mitigation measures required (for example the need for gas protection measures within the foundations), be submitted alongside any subsequent application for Building Regulations approval (if relevant). Any form of development over or within the influencing distance of a mine entry can be dangerous and raises significant safety and engineering risks and exposes all parties to potential financial liabilities. As a general precautionary principle, the Coal Authority considers that the building over or within the influencing distance of a mine entry should

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wherever possible be avoided. In exceptional circumstance where this is unavoidable, expert advice must be sought to ensure that a suitable engineering design is developed and agreed with regulatory bodies which takes into account of all the relevant safety and environmental risk factors, including gas and mine-water. Your attention is drawn to the Coal Authority Policy in relation to new development and mine entries available at:

<https://www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries>

Any intrusive activities which disturb or enter any coal seams, coal mine workings or coal mine entries (shafts and adits) requires a Coal Authority Permit. Such activities could include site investigation boreholes, digging of foundations, piling activities, other ground works and any subsequent treatment of coal mine workings and coal mine entries for ground stability purposes. Failure to obtain a Coal Authority Permit for such activities is trespass, with the potential for court action.

Property specific summary information on past, current and future coal mining activity can be obtained from: www.groundstability.com or a similar service provider.

If any of the coal mining features are unexpectedly encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848. Further information is available on the Coal Authority website at: www.gov.uk/government/organisations/the-coal-authority.

The following policy(ies) of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 is/are relevant to the conditions of this permission: SP6, CW2, CW3, SP10.

Please find attached the comments of The Council's Landscape Architect, Rights of Way Officer, Senior Engineer (Land Drainage), Dwr Cymru/Welsh Water, NRW and The Coal Authority. that are brought to the applicant's attention.

The applicant is reminded that it is an offence to obstruct a public right of way. There is one public right of way in the area of this application. The planning permission does not authorise the stopping up or diversion of the right of way. The right of way may be stopped up or diverted by Order under section 257 of the Town and Country Planning Act 1990, provided that the order is made before the development is carried out. If the right of way is obstructed before the Order is made, the order cannot proceed until the obstruction is removed.

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The access is shown to cross the public right of way. The levels of the public right of way are not to be altered where the public right of way crosses the access road. Details of the construction to be submitted prior to work commencing;

The footpath if bounded on both sides is to be a minimum of 1.8m wide, and the use of close boarded fence adjacent to the footpath to be limited especially on blind corners to protect the safety of the public using the public right of way;

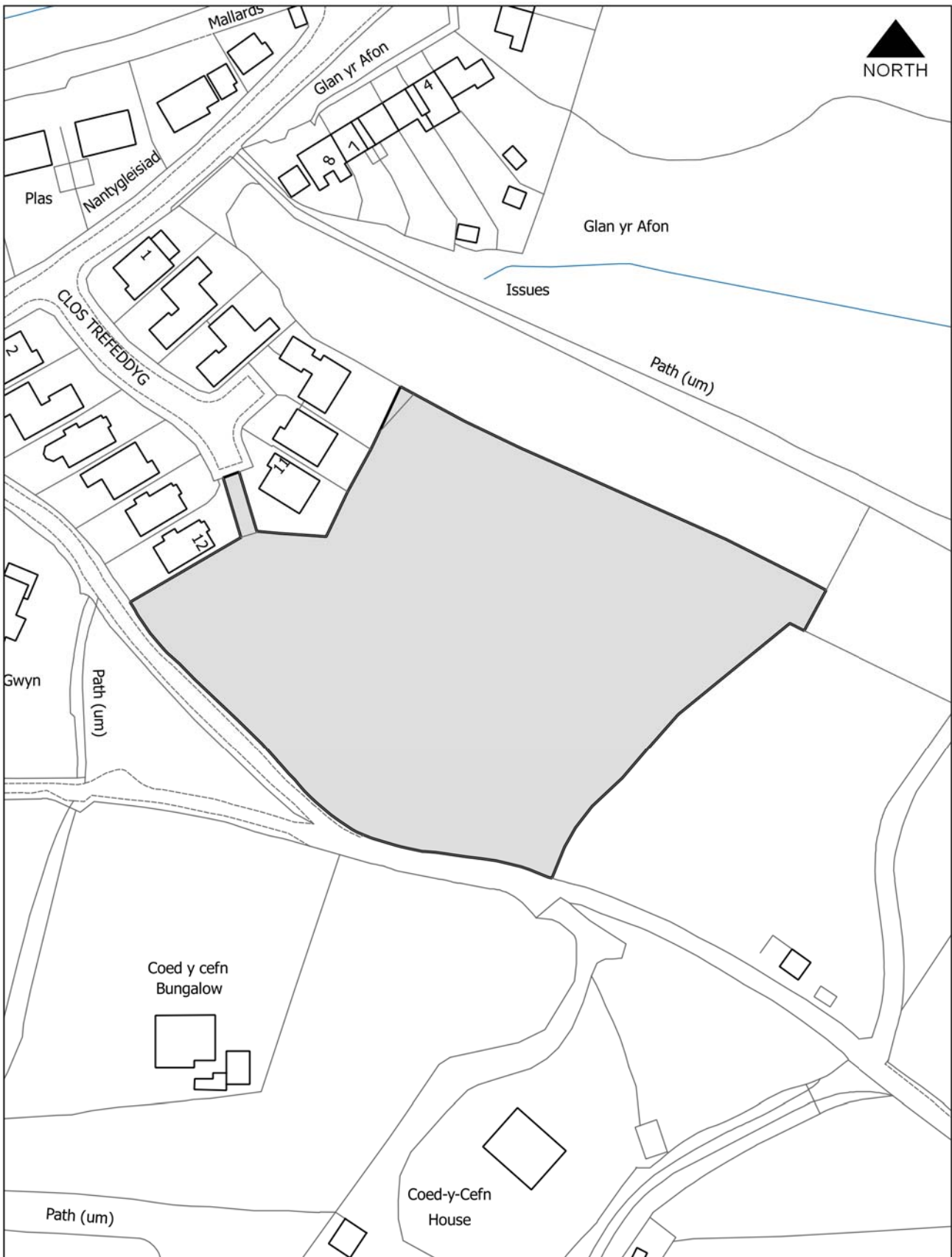
The path must be protected during construction and remain open and usable at all times, unless a Temporary Traffic Regulation Order is in place (Application form available upon request).

The applicant is reminded that it is an offence to obstruct a public right of way. The right of way in the area of the application must remain available for use and the safety of the public using the footpath must be ensured at all times.

Where the access road crosses the public right of way, there will be a need to sign the route of the public right of way. Specification of such to be agreed with the Rights of Way Department in advance.

The public right of way is regularly used by the public, and the site needs to be kept free of obstructions. Should the applicant require further information regarding their responsibilities to the Public Right of Way, they are requested to contact the Rights of Way Officer on 01443 866669.

DEFERRED FOR REASONS FOR REFUSAL



Agenda Item 13

Code No. and Date Received	Name and Address of Applicant	Description and Location of Proposed Development
18/0168/FULL 24.04.2018	Mr Phipps 37 Hillside Terrace Bedwas Caerphilly CF83 8AJ	Erect single storey rear extension 37 Hillside Terrace Bedwas Caerphilly CF83 8AJ

APPLICATION TYPE: Full Application

SITE AND DEVELOPMENT

Location: 37 Hillside Terrace, Bedwas

House type: The house is a semi-detached dwelling within a residential area.

Development: The development proposed is a single storey, rear extension with lean-to roof. The application is reported to Planning Committee because the applicant is related to a member of the Council.

Dimensions: The distance from the rear wall of the main house is four metres. The new building would extend 6.1m almost across the full width of the house at a height of 3.3m.

Materials: Wall finishes would be brickwork and render to match the existing with a glass fibre roof covering.

Ancillary development, e.g. parking: Not applicable.

PLANNING HISTORY 2005 TO PRESENT

None.

POLICY

LOCAL DEVELOPMENT PLAN

Site Allocation: The site is within settlement boundaries.

Cont....

Application No. 18/0168/FULL Continued

Policies: The following policies in the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 are particularly relevant to the determination of this application:

CW2 Amenity and SP6 B Place Making.

Supplementary Planning Guidance LDP5 Householder Development is also of relevance.

NATIONAL POLICY Planning Policy Wales, Edition 9 November 2016.

ENVIRONMENTAL IMPACT ASSESSMENT

Did the application have to be screened for an EIA? No.

Was an EIA required? Not applicable.

COAL MINING LEGACY

Is the site within an area where there are mining legacy issues? The site is within the coalfield and an advisory note will be sent if appropriate.

CONSULTATION

CADW - Cadw has no comments on the application.

Bedwas, Trethomas & Machen Community Council - No objections.

Ecologist - Requests a condition to secure provision of artificial nest boxes for breeding birds as a biodiversity enhancement.

ADVERTISEMENT

Extent of advertisement: The application was advertised by means of letters to four neighbouring properties. A site notice was not required.

Response: No response was received.

Summary of observations: Not applicable.

Cont....

Application No. 18/0168/FULL Continued

SECTION 17 CRIME AND DISORDER ACT

What is the likely effect of the determination of this application on the need for the Local Planning Authority to do all it reasonably can to prevent crime and disorder in its area?

The proposal is unlikely to have a significant effect on crime and disorder in the local area.

EU HABITATS DIRECTIVE

Does the development affect any protected wildlife species? No.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

Is this development Community Infrastructure Levy liable? No. The floor space is less than 100 square metres.

ANALYSIS

Policies: Planning applications must be determined in accordance with the policies in the development plan unless material considerations indicate otherwise. The main considerations and relevant policies in this case are:-

Design and external appearance (SP6B)

Policy SP6 B requires new development to demonstrate a high standard of design that reinforces attractive qualities of local distinctiveness. Supplementary planning guidance in LDP 7 - Householder Development sets out further design guidance for domestic extensions.

Well-designed extensions can help homeowners meet their changing needs and enhance the local area. The proposed extension is of an appropriate scale and would not dominate the house. The roof pitch would be similar to that of the main house and an adequate area of garden space would remain available for use. Therefore, the proposal is in accord with policy SP6B and LDP7.

Amenity (CW2)

Policy CW2 states that development proposals must ensure that there is no unacceptable impact on the amenity of adjacent properties or land and that the use is compatible with surrounding land uses. The proposal should not result in over-development of the site and should not compromise the viability of existing neighbouring land uses.

Cont....

Application No. 18/0168/FULL Continued

The proposed extension is set 0.4 metres from the boundary with the adjoining semi-detached house and 1.8m from the boundary with the neighbouring property to the west. However, due to its context and scale, the proposed extension would not have an overbearing effect on the neighbour's house and no windows are shown overlooking the neighbouring property. Therefore the proposed development meets the criteria in LDP policy CW2.

Comments from consultees: No objections received. The Council's Ecologist asks for a condition to secure artificial nest boxes as a biodiversity enhancement. While this is desirable, in view of the scale of the development, it is considered that such a condition would not meet the test in Welsh Government Circular WGC 016/2014 in that it is not essential in planning terms to enable the development to proceed. The circular states " In considering whether a planning condition is necessary, local planning authorities should ask themselves whether planning permission would have to be refused if a condition were not imposed, or if it would be expedient to enforce against a breach of the condition." The comments will be sent as an advisory note.

Comments from public: None were received.

Other material considerations: An extension of similar size could be constructed under "permitted development" rights granted under the terms of the Town and Country Planning (General Permitted Development) Order 1995 as amended.

The duty to improve the economic, social, environmental and cultural well-being of Wales, has been considered in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015. In reaching the recommendation below, the ways of working set out at section 5 of that Act have been taken into account, and it is considered that the recommendation is consistent with the sustainable development principle as required by section 8 of that Act.

RECOMMENDATION that Permission be GRANTED

This permission is subject to the following condition(s)

- 01) The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
REASON: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.

Cont....

Application No. 18/0168/FULL Continued

- 02) The development hereby permitted shall be carried out only in accordance with the following plans and other submitted details:
Drawing number MPP/101 Proposed Elevations and Plans received 20 February 2018;
Drawing number MPP/100 Site Location Plan received 20 February 2018.
REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.

Advisory Note(s)

The following policy(ies) of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 is/are relevant to the conditions of this permission: CW2 and SP6.

Please find attached the comments of the Council's Ecologist that are brought to the applicant's attention.

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at: www.gov.uk/government/organisations/the-coal-authority.



Agenda Item 14

Code No. and Date Received	Name and Address of Applicant	Description and Location of Proposed Development
18/0073/RET 12.03.2018	Mr M Pearcey C/o C2J Architects & Town Planners Unit 1A Compass Business Park Pacific Road Ocean Park Cardiff CF24 5HL	Retain the change of use from B1/B2/B8 use to car sales and tyre sales Unit 1 Nant Court Glenview Terrace Llanbradach Caerphilly CF83 3RX

APPLICATION TYPE: Retain Development Already Carried Out

SITE AND DEVELOPMENT

Location: The application site is located on the eastern side of Glenview Terrace.

Site description: The application site is a former petrol filling station with associated vehicle repair garage that has now been subdivided to provide a tyre fitting business and associated yard to the front with two separate repair garages to the rear. This application only relates to the tyre fitting business and associated yard area to the front of the site and includes a single storey building that formerly housed the kiosk for the filling station, the front forecourt and the yard in the southern part of the site. The site was previously used for an unauthorised hand car wash. There are residential properties to the south and west of the site with a road to the west and grazing pasture to the north.

Development: The application seeks full planning consent for the retention of the change of use of the land to the tyre fitting business together with the change of use of the yard to a car sales area. The submitted plans show one tyre fitting bay within the building, a loading area on the forecourt in front of the building, six car sales display spaces on the western boundary of the yard adjacent to the highway and three visitor parking spaces to the south of the building.

PLANNING HISTORY 2005 TO PRESENT

13/0674/RET - Retain change of use from petrol filling station to hand car wash - Refused 02.04.15.

POLICY

Local Development Plan: Within settlement limits.

Cont....

Application No. 18/0073/RET Continued

Policies

Local Development Plan: SP3 (Development in the Southern Connections Corridor), SP5 (Settlement Boundaries), SP6 (Place Making), CW2 (Amenity), CW3 (Design Considerations: Highways) and CW15 (General Locational Constraints).

Supplementary Planning Guidance LDP 5 Car Parking Standards sets out parking requirements for all developments.

Supplementary Planning Guidance LDP 6 Building Better Places to Live gives advice on all levels of development.

National Policy: Planning Policy Wales;

Para 4.11.9 The visual appearance of proposed development, its scale and its relationship to its surroundings and context are material planning considerations. Local planning authorities should reject poor building and contextual designs. However, they should not attempt to impose a particular architectural taste or style arbitrarily and should avoid inhibiting opportunities for innovative design solutions.

Para 7.6.3 Employment and residential uses can be compatible and local planning authorities should have regard to the proximity and compatibility of proposed residential development adjacent to existing industrial and commercial uses to ensure that both amenity and economic development opportunities are not unduly compromised.

National Planning Guidance contained in Technical Advice Note 12 - Design.

ENVIRONMENTAL IMPACT ASSESSMENT

Did the application have to be screened for an EIA? No.

Was an EIA required? Not applicable.

COAL MINING LEGACY

Is the site within an area where there are mining legacy issues? Not applicable.

CONSULTATION

Transportation Engineering Manager – No objections subject to conditions controlling the use of the parking spaces.

Head Of Public Protection - No objection subject to a condition in respect of collection of waste.

Cont....

Application No. 18/0073/RET Continued

Principal Valuer - This application includes land owned by CCBC. The area should be removed from the application site red line boundary.

Natural Resources Wales - Raises no objection but provides advice to be conveyed to the developer.

Llanbradach & Pwllpant Community Council - Raise objection in respect of the over development of the site.

ADVERTISEMENT

Extent of advertisement: The application was advertised by means of a site notice and neighbour letters.

Response: None.

Summary of observations: None.

SECTION 17 CRIME AND DISORDER ACT

What is the likely effect of the determination of this application on the need for the Local Planning Authority to do all it reasonably can to prevent crime and disorder in its area?
None.

EU HABITATS DIRECTIVE

Does the development affect any protected wildlife species? No.

Is this development Community Infrastructure Levy liable? No.

ANALYSIS

Policies: The application has been considered in accordance with national guidance, local plan policy and supplementary planning guidance. The application seeks full planning consent to change the use of a site that has a lawful B2 use to a mixed use of B2 and car sales. The proposed use is very similar in terms of its planning characteristics to the lawful use and indeed some of the activities to be carried out were carried out in the former use. In that regard it is not felt that the proposed use would have any detrimental impact on the amenity of the area and as such complies with Policy CW2 of the Local Development Plan.

Cont....

Application No. 18/0073/RET Continued

The main concerns with this site relate to the highways impacts of the activities that are carried out from the wider site including the two garages at the rear. At present there is a proliferation of on-street parking along Glenview Terrace of vehicles from the wider site. This has caused highway safety issues in the past and it does have a detrimental impact on the visual amenity of the area. However, the Local Planning Authority has to consider whether the proposed uses can be accommodated on the application site with regard to the space that is available within the site. In that regard the submitted plans show space for six vehicles to be displayed for sale and for one vehicle to be fitted with tyres at any one time. Parking for the car sales and the tyre fitting is to be shared with a total of three customer spaces to be provided. A loading area is also proposed to the front of the tyre fitting area for deliveries to be carried out at the site.

The applicant has confirmed that the car sales is a secondary arm of the business which would be primarily internet based. The small number of bays would be for storage with a small amount of passing trade. All cars are brought to the site by the applicant or on limited occasions would be delivered by a flatbed pick-up truck.

On the basis of the above and subject to the imposition of conditions to control the activities on the site it is considered that the application site is able to accommodate the uses proposed without having a detrimental impact on the character of the area or on highway safety. In that regard the proposal complies with Policy CW3 of the Local Development Plan.

Comments from Consultees: With regard to the suggestion by the community council that the proposal represents over development of the site, it is considered that it is evidenced above that the site can accommodate the proposed uses and as such it does not represent over development of the site. No other objections raised.

Comments from public: Whilst no objections were raised by residents' concerns were brought to the attention of the Local Planning Authority by the local member in respect of the ongoing parking issues on Glenview Terrace. These are matters for the Highway Authority to deal with and it is understood that consideration is being given to introducing traffic orders in the area in order to prevent on-street parking. These issues are not material planning considerations and as such they have no bearing on the determination of this application.

Other material considerations: Given the lawful use of the application site and the wider site as a whole for B2 purposes without any controls over hours of operation, it would not be possible to impose any conditions in that regard in this instance. As such any issues with regard to noise nuisance would have to be dealt with through the Public Health legislation.

In conclusion it is considered that the proposal is acceptable in planning terms subject to the imposition of suitable conditions.

Cont....

Application No. 18/0073/RET Continued

The duty to improve the economic, social, environmental and cultural well-being of Wales has been considered in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015. In reaching the recommendation below, the ways of working set out at section 5 of that Act have been taken into account, and it is considered that the recommendation is consistent with the sustainable development principle as required by section 8 of that Act.

RECOMMENDATION that Permission be GRANTED

This permission is subject to the following condition(s)

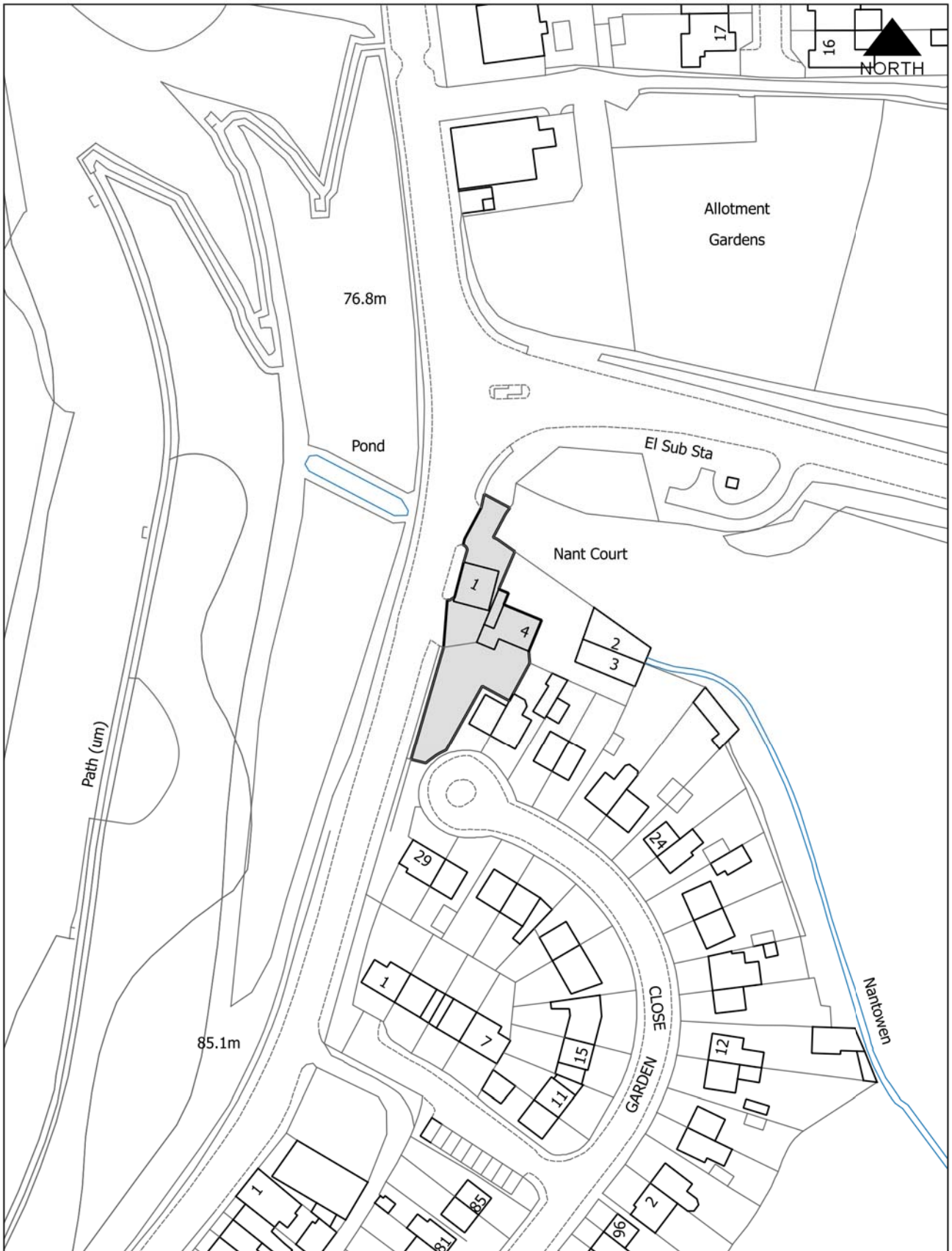
- 01) The development shall be carried out in accordance with the following approved plans and documents: AL(90)01 Rev C and EX001 Rev A.
REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.
- 02) The development shall at all times be operated in accordance with the site layout plan AL(90)01 Rev C and no vehicles shall be displayed for sale on any part of the site other than on that identified for that purpose.
REASON: In the interests of highway safety.
- 03) The areas indicated on the approved plan for visitor parking and loading area shall be kept available as such at all times and shall not be used for any other purpose.
REASON: In the interests of highway safety.

Advisory Note(s)

The following policy(ies) of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 is/are relevant to the conditions of this permission: CW2 and CW3.

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at: www.gov.uk/government/organisations/the-coal-authority.



Agenda Item 15

Code No. and Date Received	Name and Address of Applicant	Description and Location of Proposed Development
18/0324/RET 14.05.2018	Mr M Meredith 1 Forest Road Treharris CF45 5HG	Change the use of ground to equine use, retain two containers for storage of equine equipment and renovate derelict building to be used by the horses Land At Grid Ref 310215 195221 Pontypridd Road Nelson

APPLICATION TYPE: Retain Development Already Carried Out

SITE AND DEVELOPMENT

Location: The application site is located at Pontypridd Road, approximately 250 metres west of the settlement of Nelson. Access is from the A472 road connecting Nelson and Abercynon.

Site description: The site is outside settlement boundaries and is set within an agricultural landscape of open fields with boundaries marked by hedgerow. It was previously used as a waste water treatment works and there is still evidence of that use on site, although the use itself ceased many years ago.

Development: The application seeks to allow the retention of the use of the site for the keeping of horses , including the siting of two container units and to renovate a derelict building.

Dimensions: The site area extends to three hectares. The containers measure 2.8m x 25m x 6.1m. The renovated building will measure 3m x 9m x 4.5m to the ridge.

Materials: The application states that the materials used will include shiplap cladding and steel roofing material.

Ancillary development, e.g. parking: Not applicable.

PLANNING HISTORY 2005 TO PRESENT

None.

Cont....

Application No. 18/0324/RET Continued

POLICY

LOCAL DEVELOPMENT PLAN

Site Allocation: The site is not allocated for any use in the Caerphilly County Borough Local Development Plan up to 2021 adopted November 2010. It is outside settlement limits and within the Mynydd Eglwysilian SLA.

Policies: The following policies in the adopted LDP are relevant to the determination of this application: CW15 settlement limits, SP6 Place Making, CW2 Amenity, CW3 Highways design and CW4 Natural Heritage Protection.

NATIONAL POLICY The application has been considered in the context of national policy in Planning Policy Wales November 2016.

ENVIRONMENTAL IMPACT ASSESSMENT

Did the application have to be screened for an EIA? No. The development does not fall within the development types and thresholds set out in schedule 2 of the EIA regulations.

Was an EIA required? Not applicable.

COAL MINING LEGACY

Is the site within an area where there are mining legacy issues? The site is within the coalfield but no new built development is proposed. An advisory note will be sent with any permission granted, if appropriate.

CONSULTATION

Transportation Engineering Manager - No objection subject to conditions.

Head Of Public Protection - No objection subject to the imposition of a condition relating to the storage of feed and disposal of waste.

Natural Resources Wales - NRW has no objection in principle but offers advice to the applicant in respect of flood risk.

Cont....

Application No. 18/0324/RET Continued

Landscape Architect - The site is within the Mynydd Eglwysilian Special Landscape Area. The siting of containers would conflict with the aim of policy NH1.3 to restrict urban spread into the countryside and soften the urban edge.

The renovation of the existing building for stabling would be preferable to the containers. A condition requiring additional tree planting should be imposed on any consent granted.

Senior Engineer (Land Drainage) - A detailed drainage strategy should be provided, incorporating sustainable drainage principles.

CADW - Cadw has no comments to make on the proposed development.

ADVERTISEMENT

Extent of advertisement: The application has been advertised by means of a notice posted at the site entrance and press notice published on 25 May 2018.

Response: No representations have been received.

Summary of observations: Not applicable.

SECTION 17 CRIME AND DISORDER ACT

What is the likely effect of the determination of this application on the need for the Local Planning Authority to do all it reasonably can to prevent crime and disorder in its area?

The proposed development is unlikely to have a significant effect on crime and disorder in the local area.

EU HABITATS DIRECTIVE

Does the development affect any protected wildlife species? No.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

Is this development Community Infrastructure Levy liable? No. Any built development does not exceed the 100 square metres exemption limit.

Cont....

ANALYSIS

Policies: The main considerations in this case are as follows.

The principle of the development (CW15)

Outside settlement boundaries policy CW15 seeks to restrict new development to that required to be located in the countryside, for example development connected with agriculture, recreation and public utilities. While the use of the site as a sewage treatment works ceased many years ago the foundations of the tanks, steps and a building remain on the site. The proposed use involves grazing of horses, which is considered to be appropriate in a countryside location; the renovation of an existing building, which would improve its appearance; and the siting of container units, which are temporary structures. Therefore, the proposed development does not conflict with the aims of policy CW15.

The effect on the amenity of neighbouring land. (CW2)

The site is surrounded by agricultural land and the proposed use would not have an adverse effect on the amenity of neighbouring land, consistent with policy CW2.

The effect on the Mynydd Eglwysilian Special Landscape Area (CW4, NH1.3)

The council's landscape architect raises concerns about the effect of the proposed containers on the SLA. Policy CW 4 states that development proposals will be permitted within SLAs where they conserve or enhance the distinctive or characteristic features of the designation. The containers are sited at the lower level of the site in front of a retaining bank. In addition, the site is well-screened by mature trees and hedgerow along the boundaries. In view of this and the small-scale nature of the built development, the proposal would not harm the characteristic features of the SLA. A temporary condition is recommended to allow the situation to be reviewed after 10 years.

The design and appearance of the proposed structures. (SP6)

While the renovation of an existing building will improve its appearance, if carried out sympathetically, the siting of container units has the potential to have an adverse effect on the surrounding area. However, the appearance of the structures can be improved by external wood cladding, required by condition, to make the appearance less industrial. Subject to this, the proposal would not conflict with the aims of policy SP6 to encourage a high standard of design

Any effect on highway safety (CW3)

The council's transportation engineer has raised safety concerns regarding the intensification of the use of the existing narrow access into the site with poor visibility for vehicles emerging onto the A472. Improving visibility would be difficult given that the applicant does not control any adjoining land and it would involve the removal of hedgerow.

Cont....

Application No. 18/0324/RET Continued

However, although the sewage treatment use of the site was abandoned some time ago, the existing access to the site remains lawful. The grazing of horses on the land would not require planning permission and would attract vehicle trips to the site in connection with their welfare. The provision of the shelter and the stables would not intensify that use to such an extent that it would be unacceptable from a planning point of view. However, a condition is required to ensure that the site is only used for the keeping of the applicant's horses with no livery or lessons.

Comments from Consultees: The comments from consultees are set out above and discussed in the Analysis section of this report. The application is reported to planning committee at the request of the local ward member.

Comments from public: No representations were received.

Other material considerations:

The duty to improve the economic, social, environmental and cultural well-being of Wales, has been considered in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015. In reaching the recommendation below, the ways of working set out at section 5 of that Act have been taken into account, and it is considered that the recommendation is consistent with the sustainable development principle as required by section 8 of that Act.

RECOMMENDATION that Permission be GRANTED

This permission is subject to the following condition(s)

- 01) The development hereby permitted shall be carried out only in accordance with the plans, drawings and other submitted details received on 10 April 2018 and 14 May 2018
REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.
- 02) This consent shall extend only to the keeping of horses for private use and shall not extend to any livery, teaching or other business use associated with the keeping of horses at the site.
REASON: To define the extent of this consent in the interests of highway safety.
- 03) Within three months of the date of this permission a scheme for the storage of foodstuffs, and the storage and disposal of waste and manure shall be implemented in accordance with details that have been agreed in writing with the Local Planning Authority.
REASON: To prevent pollution.

Cont....

Application No. 18/0324/RET Continued

- 04) Within three months of the date of this permission a scheme of land and surface water drainage within the site shall be submitted to and approved by the Local Planning Authority and thereafter the scheme shall be implemented in perpetuity. REASON: To ensure that the development is served by an appropriate means of drainage.
- 05) The containers hereby approved shall be removed on or before 31 December 2028. REASON: In order that the Local Planning Authority can review the permission taking into account the limited life of the containers.
- 06) Full details of the proposed works to renovate the existing building on the site, including a detailed specification of the proposed materials to be used, shall be submitted to and approved by the Local Planning Authority within three months of the date of this permission. REASON: In the interests of the amenity of the surrounding area.
- 07) Both the proposed storage containers shall be finished with external wood cladding, the details and specification of which shall be submitted to and approved by the Local Planning Authority within three months of the date of this permission, and the units shall thereafter be maintained in accordance with the agreed details. REASON: To safeguard the amenity of the local area and the Mynydd Eglwysilian Special Landscape Area.

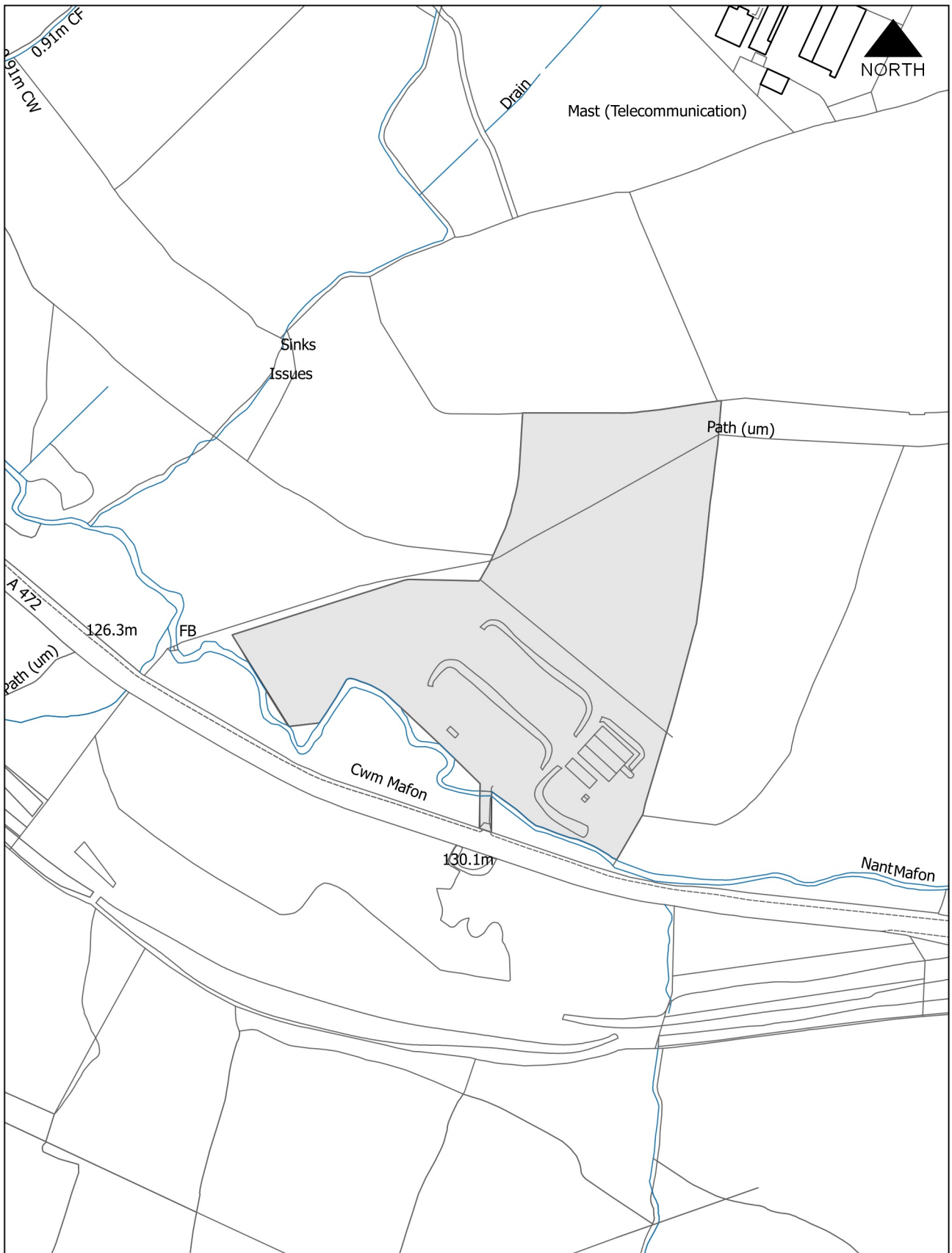
Advisory Note(s)

Please find attached the comments of Natural Resources Wales that are brought to the applicant's attention.

The following policy(ies) of the Caerphilly County Borough Local Development Plan up to 2021 - Adopted November 2010 is/are relevant to the conditions of this permission: SP6, CW15, CW2, CW3, CW4.

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at: www.gov.uk/government/organisations/the-coal-authority.



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Agenda Item 16

APPLICATIONS DETERMINED BY DELEGATED POWERS

APP NO. DATE REC'D	NAME AND ADDRESS OF APPLICANT(S)	PROPOSAL & LOCATION	DECISION
18/0249/RET 16.03.2018	Mr C Dudley 9 Atlas Road Canton Cardiff CF5 1PL	Retain and complete the change of use to craft and leisure purposes, including craft studio, domestic vehicle storage, ancillary disabled welfare unit and compost and waste storage area Cwm Cylla Scaffold Stores Heol-Y-Felin Cefn Hengoed	Granted 11.06.2018
18/0287/FULL 27.03.2018	Mr S Jenkins 10 Bryngwyn Watford Caerphilly CF83 1ET	Erect a single storey rear extension and a parking bay to front of dwelling 10 Bryngwyn Watford Caerphilly CF83 1ET	Granted 11.06.2018
18/0295/FULL 29.03.2018	Mr G Taylor 20 Caldicot Close Cefn Fforest Blackwood NP12 1HH	Erect single storey extension to the rear and side 20 Caldicot Close Cefn Fforest Blackwood NP12 1HH	Granted 11.06.2018
18/0345/NCC 13.04.2018	Valo Developments Messrs Kanti And Dinesh Yadave And Thakara Tall Trees Thornton Grove Pinner HA5 4HG	Vary condition 01 of planning consent 07/1066/FULL (Erect residential development) to amend the materials and appearance of the dwelling Laxmi Court Carn Gethin Hengoed Road Cefn Hengoed	Granted 11.06.2018
18/0279/FULL 26.03.2018	Mr D Cantello 22 Morgan Street Caerphilly CF83 3FQ	Erect single storey rear extension 22 Morgan Street Caerphilly CF83 3FQ	Granted 12.06.2018
18/0355/FULL 17.04.2018	Mr J Northover 19 Kidwelly Court Hendredenny Caerphilly CF83 2TY	Erect single storey orangery extension to rear of property 19 Kidwelly Court Hendredenny Caerphilly CF83 2TY	Granted 12.06.2018
18/0356/FULL 18.04.2018	Mr A Hathaway 76 Heol Ysgubor Caerphilly CF83 1SR	Erect single-storey side extension 76 Heol Ysgubor Caerphilly CF83 1SR	Granted 12.06.2018

18/0263/COU 21.03.2018	Islwyn Gymnastics Club Mr Ward Ty-Isha Terrace Cefn Fforest Blackwood NP12 1ZR	Change the use of unit from B2 (Industrial) to D2 (Assembly and Leisure) Unit 7 Nine Mile Point Industrial Estate Cwmfelinfach Newport	Granted 13.06.2018
18/0313/FULL 06.04.2018	Mr O Taylor 8 Lyne Road Pontymister Risca Newport NP11 6AT	Replace existing single storey extension with a larger single storey rear and side return extension adjoining neighbours property and replace existing flat roof with a slate pitched roof and install velux skylights 8 Lyne Road Pontymister Risca Newport	Granted 13.06.2018
18/0351/FULL 17.04.2018	Mrs A Gladwyn- Jones 63 Oakdale Terrace Penmaen Oakdale Blackwood NP12 0DF	Erect single and two storey extension to rear and single storey porch extension to front 63 Oakdale Terrace Penmaen Oakdale Blackwood	Granted 13.06.2018
18/0316/FULL 06.04.2018	Mr & Mrs D Davies Chez Nous 26 Sunny Bank Terrace Machen Caerphilly CF83 8PY	Erect raised deck incorporating a hot tub Chez Nous 26 Sunny Bank Terrace Machen Caerphilly	Granted 14.06.2018
18/0127/COND 07.02.2018	GHR Developments Ltd C/o CLC The Design Office 19 Heol Y Deri Rhiwbina Cardiff CF14 6HA	Discharge conditions 04 (contamination - scheme to treat) and 06 (contamination - validation) of planning consent 17/0527/FULL (Construct four detached dwellings and external works) Land Within The Curtilage Of Mountain House 41 Mountain Road Caerphilly	Decided - Discharge of Conditions 15.06.2018

18/0153/COND 14.02.2018	Rainbow Developments Mr S Cronk Unit 1 Prince Of Wales Industrial Estate Abercarn NP11 5AR	Discharge conditions 05 (Reptile Mitigation Statement), 06 (Mitigation - illumination bats), 07 (Woodland Exclusion Plan), 08 (Bat roost provision), 09 (Breeding bird provision), 10 (Land drainage) and 11 (Ground investigation) of planning consent 16/0501/OUT (Erect four residential properties and associated works) and condition 09 (Gas monitoring) of planning consent 17/0794/RM (Approve the matters of access, appearance, landscaping, layout and scale for the erection of four residential properties and associated works) Land At Grid Ref 313820 187076 Cae Nant Gledyr Caerphilly	Decided - Discharge of Conditions 15.06.2018
18/0284/TPO 27.03.2018	Mr S Perry Glenside Summerfield Hall Lane Maesycwmmmer Hengoed CF82 7RE	Reduce height of Sycamore tree by 7-8 metres (Tree Preservation Order 76/73/MCC) Brooklands Summerfield Hall Lane Maesycwmmmer Hengoed	Refused 15.06.2018
18/0298/COND 03.04.2018	Constantine Wind Energy Mr P Fusco 100 Brand Street Glasgow G51 1DG	Discharge condition 17 (Traffic Management Plan) of planning consent 15/0774/FULL (Erect a single turbine up to a blade tip height of 76.45m, 50.0m hub height, 52.9m rotor diameter and output of 800kW with associated track access, electric cabinet and crane pad) Tyle Crwth Mountain Road Maesycwmmmer To Machen Ynysddu	Decided - Discharge of Conditions 15.06.2018
18/0311/COU 06.04.2018	Mr H Yearsley Bridge House The Square Bedwas Caerphilly CF83 8DY	Change the use of property from retail unit and three bedroom flat to 1 No. one bedroom flat and 1 No. two bedroom flat Bridge House The Square Church Street Bedwas	Granted 15.06.2018

18/0312/LBC 06.04.2018	Mr H Yearsley Bridge House The Square Bedwas CF83 8DY	Change the use of property from retail unit and three bedroom flat to 1 no. one bedroom flat and 1 no. two bedroom flat Bridge House The Square Church Street Bedwas	Granted 15.06.2018
18/0344/NCC 13.04.2018	Constantine Wind Energy Mr P Fusco 100 Brand Street Glasgow G51 1DG	Vary condition 13 (shadow flicker mitigation protocol) of planning consent 15/0774/FULL (Erect a single turbine up to a blade tip height of 76.45m, 50.0m hub height, 52.9m rotor diameter and output of 800kW with associated track access, electric cabinet and crane pad) Land At Tyle Crwth Mountain Road Maesycwmmmer To Machen Ynysddu	Refused 15.06.2018
18/0350/COND 16.04.2018	Ixion Developments Ltd C/o GVA Mr M Southall One Kingsway Cardiff CF10 3AN	Discharge conditions 06 (contamination - scheme to treat) and 09 (construction method statement) of planning consent 15/0365/FULL (Erect residential development of 6 no. walk-up flats and associated works) Land At Grid Ref 314374 194851 Adj To 79 Penallta Road Ystrad Mynach	Decided - Discharge of Conditions 15.06.2018
18/0363/FULL 20.04.2018	Mr P Hatherall 13 Pentland Close Trenwydd Park Risca Newport NP11 6QU	Convert bungalow into a dormer bungalow 13 Pentland Close Trenwydd Park Risca Newport	Granted 15.06.2018
18/0394/CLPU 01.05.2018	Mr G Booth 1 Chatham Place Chatham Machen Caerphilly CF83 8SG	Obtain a Lawful Development Certificate for proposed improvement work to include closing both external access doorways and replace with windows, reinstate and slightly widen two original side windows and construct two new internal doorways/access into kitchen and living room 1 Chatham Place Chatham Machen Caerphilly	Granted 15.06.2018

18/0317/COND 06.04.2018	Mrs C Stephens 7 Haines Close Caerphilly CF83 1SY	Discharge condition 6 (parking materials) of planning consent 16/1060/FULL (Erect single storey side extension, new vehicle access and parking space) 7 Haines Close Caerphilly CF83 1SY	Decided - Discharge of Conditions 18.06.2018
18/0306/COND 09.04.2018	Mr P Brazis 3 Melin Dwr Draethen Caerphilly NP10 8GL	Discharge of conditions 04 (Landscaping), 15 (Materials) and 16 (Wall Rebuilding Method Statement) of planning consent 17/0897/FULL (Erect a replacement detached dwelling with associated detached garage, garden landscaping and external walls, and new vehicular access arrangements) Ty Treharne Groeswen Road Groeswen Cardiff	Decided - Discharge of Conditions 18.06.2018
18/0343/FULL 12.04.2018	Mr Cross 7 St Margarets Road Caerphilly CF83 1DB	Erect single storey side extension, replacement windows, doors and cladding associated external works and alterations to front garden to enlarge driveway and widen access 7 St Margarets Road Caerphilly CF83 1DB	Granted 18.06.2018
18/0365/FULL 23.04.2018	Mrs M A Burris Fairwinds 5 St David's Drive Graig-y-rhacca Caerphilly CF83 8RG	Construct a porch to front of property Fairwinds 5 St David's Drive Graig-y-rhacca Caerphilly	Granted 18.06.2018
18/0328/COU 11.04.2018	Mr L Nguyen C/o H D Williams Ltd Mr H Williams 123 Trealaw Road Tonypany CF40 2NP	Change the use of former public toilets to Beauty Salon Public Conveniences High Street Newbridge	Granted 19.06.2018
18/0368/FULL 24.04.2018	Mrs L Simmonds- Powell 2 Fothergills Road Phillipstown New Tredegar NP24 6AP	Erect double garage at the rear of property 2 Fothergills Road Phillipstown New Tredegar NP24 6AP	Granted 19.06.2018

18/0482/NMA 22.05.2018	Mr S Maher 27 Bryn Siriol Penpedairheol Hengoed CF82 7TA	Seek approval of a non-material amendment to planning consent 17/0188/FULL (Erect two-storey side extension) to use red brick instead of cotswold stone 27 Bryn Siriol Penpedairheol Hengoed CF82 7TA	Granted 19.06.2018
18/0234/FULL 12.03.2018	Mr S Williams 23 Carlyon Road Pantside Newport NP11 5DH	Alter existing conservatory walls and roof 23 Carlyon Road Pantside Newport NP11 5DH	Granted 20.06.2018
18/0375/COND 25.04.2018	Eriez Magnetics Europe Limited Mr M Cooper Unit 17 Greenway Bedwas House Industrial Estate Bedwas Caerphilly CF83 8YG	Discharge condition 03 (Flood Emergency Plan) of planning consent 17/0061/FULL (Erect extension to existing factory production area) Eriez Magnetics Europe Ltd Unit 17 Greenway Bedwas House Industrial Estate	Decided - Discharge of Conditions 20.06.2018
18/0447/NMA 14.05.2018	United Welsh Housing Association Mr Seabourne Y Borth 13 Beddau Way Caerphilly CF83 2AX	Seek approval of a non-material amendment to planning consent 15/1258/FULL (Build a housing association development providing 37 No. dwellings) to relocate blocks 5 and 6 to accommodate on site gas, electric, water and telecomms supplies along with the relocation of blocks 9, 10 and 11 to accommodate revised lay by on adjacent road Land At Grid Ref 313044 197039 Penywrlod Gelligaer	Granted 20.06.2018

18/0163/NCC 19.02.2018	Constantine Wind Energy Mr P Fusco 100 Brand Street Glasgow G51 1DG	Vary condition 12 (Approved plans) of planning consent 15/0774/FULL (Erect a single turbine up to a blade tip height of 76.45m, 50.0m hub height, 52.9m rotor diameter and output of 800kW with associated track access, electric cabinet and crane pad) to install a different model of wind turbine to that which was originally approved Land At Tyle Crwth South West Of Ynysddu Newport	Granted 21.06.2018
18/0288/FULL 28.03.2018	Dream Care Homes (Ltd) Pentax House South Hill Avenue South Harrow HA2 0DU	Erect a single storey extension, outbuildings and associated works Ynysddu Nursing Home Mount Pleasant Ynysddu Newport	Granted 21.06.2018
18/0341/COND 13.04.2018	Mr C Gingell 5 Llanarth Villas Llanarth Street Brynawel Wattsville Newport NP11 7QX	Discharge condition 03 (Reinstatement of wall) of planning consent 17/0254/FULL (Erect single storey rear extension) 5 Llanarth Villas Llanarth Street Brynawel Wattsville	Decided - Discharge of Conditions 21.06.2018
18/0347/FULL 16.04.2018	Mr C Vater 13 Clos Cwm Garw Caerphilly CF83 2BG	Erect single storey extension to side and rear 13 Clos Cwm Garw Caerphilly CF83 2BG	Granted 21.06.2018
18/0359/COND 18.04.2018	Mr M Lawford 6 Blackwood Road Pontllanfraith Blackwood NP12 2BR	Discharge conditions 02 (Contamination), 03 (Remediation Strategy), 05 (Drainage), 06 (Bat Roosts), 07 (Bird Boxes), 08 (Highway Engineering Details), 09 (Parking Area), 10 (Driveway Materials) and 12 (Materials - External Surfaces) of planning consent 17/0084/FULL (Construct a two storey dwelling including two additional habitable rooms in roof space and attached garage) 3 The Meadows Blackwood NP12 1FL	Decided - Discharge of Conditions 21.06.2018

18/0379/COU 26.04.2018	Mr & Mrs A Goodwin 63 St Marys Street Risca NP11 6GQ	Change the use of ground and part first floor from A2 (Banking) to D1 (Non-residential institutions) and conversion of part of first floor into a self contained 2 bedroom apartment 57 Tredegar Street Risca Newport NP11 6BW	Granted 21.06.2018
18/0380/FULL 26.04.2018	Mr R Morris C/o C2J Architects & Town Planners Mr R Chichester Unit 1A Compass Business Park Pacific Road Ocean Park Cardiff CF24 5HL	Erect stable block and associated access, parking and stock proof fencing Field Adjacent To 3 Tai Cae Bryn Groeswen Road Cardiff	Refused 21.06.2018
18/0381/COND 27.04.2018	Mr S Smith 13 Pembroke Close Cefn Fforest Blackwood NP12 1JL	Discharge condition 1 (details of external finish) of planning consent 18/0095/RET (Retain means of enclosure to the rear and side boundaries consisting of a retaining block wall combined with a brick/timber element) 13 Pembroke Close Cefn Fforest Blackwood NP12 1JL	Decided - Discharge of Conditions 22.06.2018
18/0382/ADV 27.04.2018	ALDI Stores Ltd C/o Planning Potential Ltd Mr L Collins 13-14 Orchard Street Bristol BS1 5EH	Erect 3 non-illuminated signs Aldi Stores Ltd South Court Pontymister Industrial Estate Pontymister	Granted 22.06.2018
18/0383/TPO 27.04.2018	Mrs A Jervis Yn Yr Ardd 1A Clos Cae Pwll Nelson Treharris CF46 6LA	Trim back lower branches on Oak tree and remove any dead wood in canopy (Tree Preservation Order 3/75/RVDC) Yn Yr Ardd 1A Clos Cae Pwll Nelson Treharris	Granted 22.06.2018

18/0388/TPO 27.04.2018	Llanarth Estate Office Mr B Herbert Llanarth Raglan Usk Monmouthshire NP15 2YB	Carry out minor facilitation pruning on central belt of beech trees (TPO No. 47/70/MCC) Land At Grid Ref 321550 198032 Old Pant Road Pantside	Granted 22.06.2018
18/0273/FULL 23.03.2018	Mr P Jenkins 25 Clos Carolyn Blackwood NP12 3QT	Erect a two storey extension to side and rear of property and create additional parking in the front garden area 25 Clos Carolyn Blackwood NP12 3QT	Granted 25.06.2018
18/0296/COU 29.03.2018	Mr C Jones C/O RPD Building Consultants Ltd Mr R Phillips 61 Western Avenue Newport NP20 3QZ	Change the use from office space/storage to single dwelling 1 - 3 Silver Street Pontywaun Newport NP11 7FX	Granted 25.06.2018
18/0309/FULL 05.04.2018	Mr S Jenkins 62 Commercial Road Machen Caerphilly CF83 8PG	Demolish existing rear single storey lean-to extension and redundant external w.c. and erect new rear single storey lean-to extension forming new ground floor garden room with new w.c. 62 Commercial Road Machen Caerphilly CF83 8PG	Granted 25.06.2018
18/0376/FULL 26.04.2018	Mr J Payne 16 William Street Cwmfelinfach Newport NP11 7GY	Construct a detached domestic garage with associated access and groundworks Land At Grid Ref 318294 191565 Penllwyn Street To Syndicate Terrace Cwmfelinfach	Refused 25.06.2018
18/0390/COND 30.04.2018	Mr G Holmes 16 Bernard Street Cwmcarn NP11 7EE	Discharge condition 01 (privacy screen) and 02 (means of enclosure) of planning consent 17/0882/RET (Retain a timber deck to the rear elevation of the kitchen and installation of patio doors) 16 Bernard Street Cwmcarn Newport NP11 7EE	Decided - Discharge of Conditions 25.06.2018

18/0503/NMA 01.06.2018	Ms L Cochrane Gelliwen Farm Bedwellty Road Markham Blackwood NP12 0PP	Seek approval of a non-material amendment to planning application 17/0605/FULL (Erect residential development of eight four-bedroom dwellings and one three-bedroom dwelling and provide new road layout) to add the approved plans condition Land At Grid Ref 316564 201006 Bedwellty Road To Heol-Y-Bedw-Hirion Aberbargoed	Granted 25.06.2018
18/0143/RET 12.02.2018	Mr G B Singh 1 Victoria Buildings 1 Rose Villa Elliotstown New Tredegar NP24 6NQ	Retain flue on side elevation KJ's Fish Bar 47 Commercial Street New Tredegar NP24 6AA	Refused 26.06.2018
18/0342/FULL 13.04.2018	Sharp Clinical Services Mr I Morgan Unit 28 Heads Of The Valleys Industrial Estate Rhymney Tredegar NP22 5RL	Provide facade enhancement to include new insulated cladding panels and new external canopy to service yard Unit 28 Heads Of The Valleys Industrial Estate Rhymney Tredegar	Granted 26.06.2018
18/0367/FULL 24.04.2018	Mr J Carpenter 34 Maes-Y-Dderwen Penpedairheol Hengoed CF82 8DP	Demolish existing conservatory and construct a new single-storey extension for disabled adaptation 34 Maes-Y-Dderwen Penpedairheol Hengoed CF82 8DP	Granted 26.06.2018
18/0370/FULL 25.04.2018	Cadw Miss C Elis Plas Carew Cardiff CF15 7QQ	Create a new attraction at Caerphilly Castle - Gilbert's Maze Caerphilly Castle Castle Street Caerphilly CF83 1JD	Granted 26.06.2018
18/0371/FULL 25.04.2018	Cadw Mrs C Elis Plas Carew Unit 5/7 Cefn Coed Parc Nantgarw Cardiff CF15 7QQ	Create a new attraction at Caerphilly Castle - Dragons' Lair Caerphilly Castle Castle Street Caerphilly CF83 1JD	Granted 26.06.2018

18/0392/FULL 01.05.2018	Mr R Thomas 45 Hengoed Avenue Cefn Hengoed Hengoed CF82 7HX	Erect detached garage to rear 45 Hengoed Avenue Cefn Hengoed Hengoed CF82 7HX	Granted 26.06.2018
18/0395/FULL 01.05.2018	Mr M Hughes Pennar Barn Cefn Pennar Lane Pant-yr-resk Mynyddislwyn Newport NP11 5AG	Erect two storey rear extension Pennar Barn Cefn Pennar Lane Pant-yr-resk Mynyddislwyn	Refused 26.06.2018
18/0402/TPO 01.05.2018	Mr M Wildy 1 Bryn View Pontllanfraith Blackwood NP12 2QR	Fell three trees - Thorn, Copper Beech and Monterey Pine (Tree Preservation Order 4/90/IBC) 1 Bryn View Pontllanfraith Blackwood NP12 2QR	Granted 26.06.2018
18/0418/FULL 08.05.2018	Mrs J Larson 4 Bronrhiw Avenue Caerphilly CF83 1HF	Erect two storey side extension 4 Bronrhiw Avenue Caerphilly CF83 1HF	Granted 26.06.2018
18/0336/FULL 12.04.2018	Mr & Mrs J Price Gernant Brookside Bungalows Cwmgelli Blackwood NP12 1BQ	Demolish existing single storey extension and construct part two storey, part single storey extension to side and rear including rear balcony Gernant Cottage Brookside Bungalows Cwmgelli Blackwood	Granted 27.06.2018
18/0340/RET 13.04.2018	Ms A Fussell Ysgwyddgwyn Isaf Farm Pen-y-garreg Farm Lane Deri Bargoed CF81 9NT	Retain hardstanding and road to provide storage for feed and access to land to provide feeding and care to farm stock Ysgwyddgwyn Isaf Farm Pen- y-garreg Farm Lane Deri Bargoed	Granted 27.06.2018

<p>18/0353/COND 17.04.2018</p>	<p>Miss M C Tallon & Mr A Cole Van Mansion Gwern-y-Domen Farm Lane Caerphilly CF83 3RN</p>	<p>Discharge conditions 01 (time to commence development) , 02 (roof and ridge tiles materials), 03 (written scheme of historic environment mitigation), 04 (details of materials of 'no-dig' pathway), 06 (parking in accordance with plans), 07 (details of materials in respect of parking), 08 (rainwater run-off), 11 (on-site refuse storage), 12 (development licence for protected species) , 13 (bat method statement), 14 (monitoring of bat mitigation), 16 (survey of mature trees for bats), 17 (provision of nests for Jackdaws), 18 (bat roosting provision), 19 (house nesting provision), 20 (odour/effluvia/fume control), 21 (approved plans and documents), 22 (materials and painted finishes - external surfaces of building) and 23 (use of premises) of planning consent 17/0818/COU (Carry out extensive repair and refurbishment (both external and internal), internal rearrangement and upgrade works for continued use as a dwelling and proposed use as a B&B facility) Van Mansion Gwern-y-domen Farm Lane Caerphilly CF83 3RN</p>	<p>Decided - Discharge of Conditions 27.06.2018</p>
<p>18/0360/FULL 19.04.2018</p>	<p>Mrs L Krizan 5 Ynys-Glyd Street Ystrad Mynach Hengoed CF82 7ET</p>	<p>Erect two storey rear extension 5 Ynys-Glyd Street Ystrad Mynach Hengoed CF82 7ET</p>	<p>Refused 27.06.2018</p>
<p>18/0384/FULL 30.04.2018</p>	<p>Mr L Burksfield 15 Heol Tyddyn Caerphilly CF83 1TG</p>	<p>Convert attic space into bedroom with two dormers 15 Heol Tyddyn Caerphilly CF83 1TG</p>	<p>Granted 27.06.2018</p>

18/0398/FULL 02.05.2018	Mr K Owens 26 Pine Tree Way Nelson Treharris CF46 6PA	Convert roof space and raise existing roofline of bungalow to provide flat roof dormer extension to rear of property 17 Heol Isaf Nelson Treharris CF46 6NS	Granted 27.06.2018
18/0352/NMA 17.04.2018	Ms Tucker 54 Pandy Road Bedwas Caerphilly CF83 8EJ	Seek approval of a non material amendment to include a Velux type roof window to light the new bedroom forming the proposed extension 54 Pandy Road Bedwas Caerphilly CF83 8EJ	Granted 28.06.2018
18/0354/COND 17.04.2018	Ms Tucker 54 Pandy Road Bedwas Caerphilly CF83 8EJ	Discharge condition 03 (materials) of planning permission 17/0716/FULL (Erect first floor rear extension) 54 Pandy Road Bedwas Caerphilly CF83 8EJ	Decided - Discharge of Conditions 28.06.2018
18/0364/FULL 21.04.2018	Mr L Hobrough Verlands 16 Mountain Road Caerphilly CF83 IHJ	Erect single storey rear/side kitchen extension Verlands 16 Mountain Road Caerphilly CF83 1HJ	Granted 28.06.2018
18/0326/LBC 10.04.2018	Mrs Hurley Ty Webb Pen-Rhiw Avenue Oakdale NP12 0EW	Demolish side extension, erect new kitchen extension and convert existing kitchen into utility room and WC Ty Webb Pen-Rhiw Avenue Oakdale Blackwood	Granted 29.06.2018
18/0386/FULL 30.04.2018	Mr N Colbourne 3A Llanarth Street Risca Newport NP11 6EA	Demolish garages, workshops and redundant buildings and erect single dwelling with courtyard and large garage/storage unit Garage At Grid Ref 324174 190362 Stanfield Yard Park Place Pontymister	Granted 29.06.2018
18/0391/COU 30.04.2018	The Monmouthshire Building Society Mr P O'Shea John Frost Square Newport NP20 1PX	Change the use to A2 (Financial and Professional Services), replace shop front and insert new window to rear elevation (new shop front to be brought forward to increase existing floor area by 3.8 sq.m.) 48 Tredegar Street Risca Newport NP11 6BW	Granted 29.06.2018

18/0399/FULL 02.05.2018	Mr F Lawance 11 Donald Street Nelson CF46 6EB	Demolish existing single storey rear extension and construct a new single storey rear extension with flat roof 11 Donald Street Nelson Treharris CF46 6EB	Granted 29.06.2018
18/0416/ADV 04.05.2018	Mr J S Khehra Convenience Store 7-11 Bedwas Road Caerphilly CF83 3AU	Install former horse drawn carriage on black metal support to West elevation Wheatsheaf Hotel 13 Market Street Caerphilly CF83 1NX	Granted 29.06.2018
18/0024/TPO 09.01.2018	Miller Holdings (Wales) Ltd Mr M Miller Unit A Upper Boat Business Centre Pontypridd CF37 5BP	Remove four trees and carry out tree management works to nine trees (Tree Preservation Order 119/81/GCC) Land At Woodfield Park Lane Penmaen Oakdale Blackwood	Granted 02.07.2018
18/0310/FULL 06.04.2018	Mr K Rees 29 Hospital Road Penpedairheol Hengoed CF82 8DG	Erect single storey rear extension, two storey side extension and carry out loft conversions 29 Hospital Road Penpedairheol Hengoed CF82 8DG	Granted 02.07.2018
17/0915/NCC 23.10.2017	Au Trust SIPP Mr D Watts Land North Of Glan-Yr -Afon Pengam Blackwood	Vary condition 2 of planning consent 14/0518/NCC, (allowed on appeal) to amend the approved plans with revised house plans including changes to position of plots and facade treatment to be updated to current day designs and materials Land At Grid Ref 315319 197123 Glan-Yr-Afon Lane Fleur-de-lis	Granted 03.07.2018
18/0097/COND 26.01.2018	R & M Williams Mr N Morgan Williams House West Point Industrial Estate Penarth Road Cardiff CF11 8JQ	Discharge conditions 03 (Coal - Site Investigation) , 09 (Japanese Knotweed Method Statement) and 12 (Dust and Noise Mitigation Scheme) of planning consent 17/0266/LA (Construct new three storey, nine classroom infill block) Newbridge Comprehensive School And Leisure Centre Bridge Street Newbridge	Decided - Discharge of Conditions 03.07.2018

18/0103/FULL 30.01.2018	Mr J Maxwell 65 Bartlett Street Caerphilly CF83 1JT	Demolish existing two storey building and re-build with ground floor garage and first floor flat 65 Bartlett Street Caerphilly CF83 1JT	Granted 03.07.2018
18/0348/FULL 16.04.2018	Mr L Cleaton 75 Treowen Road Treowen Newport NP11 3DP	Erect two storey rear extension to contain two bedrooms, utility/wc and kitchen 75 Treowen Road Treowen Newport NP11 3DP	Granted 03.07.2018
18/0414/FULL 08.05.2018	Mr J Bater 6 Heol-Yr-Onen Caerphilly CF83 1AR	Erect two storey rear extension and convert loft 6 Heol-Yr-Onen Caerphilly CF83 1AR	Granted 03.07.2018
18/0417/FULL 08.05.2018	Mr M Jennick 8 Mount Pleasant Street Aberbargoed Bargoed CF81 9BY	Erect first floor extension on existing ground floor extension to the rear and a detached garage 8 Mount Pleasant Street Aberbargoed Bargoed CF81 9BY	Granted 03.07.2018
18/0419/FULL 08.05.2018	Mr D Barrett Bryn Glas 256 Pontygwindy Road Caerphilly CF83 3HY	Erect two storey side and rear extension Bryn Glas 256 Pontygwindy Road Caerphilly CF83 3HY	Refused 03.07.2018
18/0424/COND 08.05.2018	Mr D Davies Ty Cwm Newport Road Hollybush Blackwood NP12 0BN	Discharge condition 11 (Traffic Management Plan) of planning consent 17/0521/FULL (Install an 800kW wind turbine together with a switchroom, construct access track, lay electrical cabling and ancillary works) Cruglwyn Manmoel Road Manmoel Blackwood	Decided - Discharge of Conditions 03.07.2018
18/0401/FULL 03.05.2018	Mrs S Gurner 282 Bedwas Road Caerphilly CF83 3AW	Erect single storey extension to rear of property to create new kitchen space and internal works to remodel house layout 282 Bedwas Road Caerphilly CF83 3AW	Granted 04.07.2018
18/0407/FULL 03.05.2018	Mr M Watkins 72 Church Street Aberbargoed Bargoed CF81 9FF	Erect part two storey, part single storey rear extension 72 Church Street Aberbargoed Bargoed CF81 9FF	Granted 04.07.2018

18/0422/LBC 09.05.2018	Mrs N Watkins Ty Tallis 13 Penrhiw Terrace Oakdale Blackwood NP12 0JH	Install chimney flue and storm cap to existing chimney breast within the living room to allow for a wood burner to be installed Ty Tallis 13 Penrhiw Terrace Oakdale Blackwood	Refused 04.07.2018
18/0426/FULL 09.05.2018	Mrs T Terry Brookside Pleasant View Treharris CF46 5LS	Erect a two bedroom dwelling Land At Grid Ref 314821 194527 Pengam Road North Lane Ystrad Mynach	Granted 04.07.2018
18/0430/FULL 10.05.2018	Mr Ward 15 Glebe Street Bedwas Caerphilly CF83 8AD	Erect storm porch to front elevation 15 Glebe Street Bedwas Caerphilly CF83 8AD	Granted 04.07.2018
18/0431/FULL 10.05.2018	Mr R Kynes 8 North Rising Pontlottyn Bargoed CF81 9PA	Erect single storey extension to rear of property to provide a sun room and store room 8 North Rising Pontlottyn Bargoed CF81 9PA	Granted 04.07.2018
18/0471/CLPU 21.05.2018	Mr Lane 6 Energlyn Close Energlyn Caerphilly CF83 2QU	Obtain a Lawful Development Certificate for proposed loft conversion 6 Energlyn Close Energlyn Caerphilly CF83 2QU	Permitted Development 04.07.2018

Agenda Item 17

LIST OF PLANNING APPLICATIONS WHICH ARE NOT DEALT WITH IN TIME

APPLICATION NUMBER DATE RECEIVED	DESCRIPTION & LOCATION OF DEVELOPMENT	COMMENTS
13/0799/CLEU 08.11.13	Obtain a Lawful Development Certificate for the existing use of storing and servicing company vehicles, plant and mining machinery and as a heavy goods vehicle operating licensing centre at Caeglas Colliery Fochriw Road Fochriw Bargoed	Awaiting additional information.
16/0886/NCC 11.10.16	Vary condition 1 of planning consent 06/0848/NCC (Reclaim former quarry - operate recycling and transfer station with associated storage) to extend the life of the permission for a further ten years so that the development hereby permitted shall cease not later than 31st December 2027 at Bowen Contractors Ltd Berthgron - Panthraillan Quarry Tydu Road Nelson	Subject to further discussion and consideration.
16/0887/NCC 11.10.16	Vary Condition 1 of planning consent 06/0849/NCC (Reclaim former quarry with inert waste and extend access/haul road to landfill site) to extend the life of the permission for a further five years so that the development hereby permitted shall cease not later than 31st December 2021 at Bowen Contractors Ltd Berthgron - Panthraillan Quarry Tydu Road Nelson	Subject to further discussion and consideration.
17/0494/FULL 10.06.17	Construct 4 No. detached dwellings with associated drainage, road, access and landscaping on Land at Beili Glas Road Fleur de lis Blackwood	Subject to further discussion and consideration.
17/0551/COU 29.06.17	Change the use of lower ground floor of previous fitness club to one bedroom flat at 17 High Street Llanbradach Caerphilly	Awaiting additional information.
17/0589/FULL 10.07.17	Erect single-storey side and rear extension at Avanate 6 Gellideg Lane Maesycwmmmer	Subject to further discussion and consideration.

17/0706/COU 14.08.17	Change the use from shop with flats above to shop with flat on the first floor and additional accommodation on second and third floors by the creation of space within a raised roof and raised terrace and steps to rear at 32 New Road Deri Bargoed	Awaiting bat survey.
17/0681/OUT 07.08.17	Erect residential development together with associated open space, landscaping and parking provision and seek approval of access and scale on Land At Grid Ref 316731 198680) Beaumaris Way Cefn Fforest	Subject to further discussion and consideration.
17/0738/COND 24.08.17	Discharge condition 09 (site investigation report) of planning application 14/0518/NCC (granted on appeal reference APP/K6920/A/15/3084354) (Vary Condition 01 of planning permission 09/0197/NCC (Remove condition (1) from planning application P/04/0219 to erect residential development) to extend the time limit within which development can commence for a further five years) on Land At Grid Ref 315319 197123 Glan-Yr-Afon Lane Fleur-de-lis	Subject to further discussion and consideration.
17/0746/FULL 30.08.17	Remove existing rear single storey lean-to and replace with a two storey rear extension 192 Pandy Road Bedwas Caerphilly	Subject to further discussion and consideration.
17/0804/OUT 18.09/17	Erect up to 350 homes including affordable housing, public open space, a local centre and community building, new vehicular, cycle and pedestrian accesses, associated engineering works and seek approval of access at Virginia Park Golf Club And Driving Range Virginia Park Caerphilly CF83 3SN	Subject to further discussion and consideration.

17/0918/COND 30.10.17	Discharge condition 03 (Highways) , 05 (Land Drainage) , 06 (Surface Water Drainage), 07 (Drainage Scheme), 10 (Remediation Strategy) 17 (Japanese knotweed) and 19 (Lighting Scheme) of planning consent 14/0518/NCC granted on appeal reference APP/K6920/A/15/3084354 (Vary Condition 01 of planning permission 09/0197/NCC (Remove condition (1) from planning application P/04/0219 to erect residential development) to extend the time limit within which development can commence for a further five years) Land At Glan-Yr-Afon Lane Fleur-de-lis	Awaiting view of consultees.
17/0971/NCC 13.11.17	Vary condition 18 of planning permission 12/0570/FULL (Extend existing quarry operations including new drainage system and settlement ponds, landscape bunds and associated works) to enable the variation of the approved restoration scheme details to reflect the positioned earth bund and landscaping Gelliargwelt Farm Gelligaer Road Gelligaer CF82 8FY	Subject to discussion and consideration.
17/1045/COND 01.12.17	Discharge Condition 6 (drainage), Condition 10 (site control - dust suppression) and Condition 11 (site control - noise suppression) of Planning Consent 17/0489/FULL (Erect 34 No. residential dwellings and associated works) at Former Gardd Y Craig 106 Commercial Street Pontymister Risca	Awaiting views of consultees.
17/1046/COND 04.12.17	Discharge conditions 7 (Landscaping), 9 (Refuse Collection), 18 (Reptile Method Statement), 20 (Replacement Hedgerow), 21 (Amended Bat Roost Provision), 22 (Amended Breeding Bird provision) of planning application 17/0489/FULL (Erect 34 no. residential dwellings and associated works) at Former Gardd Y Craig 106 Commercial Street Pontymister Risca	Awaiting views of consultees.

18/0008/COND 05.01.18	Discharge conditions 8 (Boundary Treatment), 13 (Construction - eng details) and 17 (Trees - Arbor Impact Assessment) of planning application 17/0489/FULL (Erect 34 no. residential dwellings and associated works) Former Gardd Y Craig 106 Commercial Street Pontymister Risca	Awaiting view of consultees.
18/0037/RM 15.01.18	Seek approval of the reserved matters regarding appearance, landscaping, layout and scale reserved under outline planning permission 15/0563/OUT in respect of the construction of 50 residential units, access and associated works Land At Grid Ref 320115 198442 Ty-Mawr Farm Lane Croespenmaen	Subject to further discussion and consideration.
18/0071/COND 22.01.18	Discharge condition 11 (light mitigation strategy) of planning application 15/0567/OUT (granted on APP/K6920/A/16/3160200 - Erect residential development of up to 175 units including open space provision, access and parking arrangements) at Land At Oakdale Golf Course Oakdale Golf Course Lane Oakdale	Subject to further discussion and consideration in respect of the reserved matters application for the development of this site.
18/0106/COND 31.01.18	Discharge condition 04 (Construction Method Statement) of planning application 15/0567/OUT (granted on appeal reference APP/K6920/A/16/3160200 - Erect residential development of up to 175 units including open space provision, access and parking arrangements) at Land At Oakdale Golf Course Oakdale Golf Course Lane Oakdale Blackwood	Subject to further discussion and consideration in respect of the reserved matters application for the development of this site.
18/0107/COND 31.01.18	Discharge condition 17 (Affordable Housing) of planning application 15/0567/OUT (granted on appeal reference APP/K6920/A/16/3160200 - Residential development of up to 175 units including open space provision, access and parking arrangements) at Land At Oakdale Golf Course Oakdale Golf Course Lane Oakdale Blackwood	Subject to further discussion and consideration in respect of the reserved matters application for the development of this site.

18/0122/FULL 05.02.18	Convert and extend existing chapel to 7 No. self-contained apartments with on site parking, cycle and refuse storage facilities at Seion Baptist Church Glenview Terrace Llanbradach	Subject to further discussion and consideration.
18/0181/RET 23.02.18	Retain and complete works to roof to change from hip to gable and external alterations Mapledene 10 Dan-y-coed Caerphilly CF83 1HU	Awaiting amended elevation.
18/0211/FULL 06.03.18	Erect detached dwelling and detached garage Plot 2 Land Adjacent To Islwyn Indoor Bowls Centre Gelli Lane Pontllanfraith Blackwood	Awaiting views of consultees.
18/0224/COND 08.03.18	Discharge conditions 5 (habitat management and mitigation plan), 7 (land drainage), 13 (shadow flicker mitigation protocol), 14 (MOD), 15 (finishes/colour of wind turbine) and 16 (archaeological brief) of planning consent 15/0774/FULL (Erect a single turbine up to a blade tip height of 76.45m, 50.0m hub height, 52.9m rotor diameter and output of 800kW with associated track access, electric cabinet and crane pad) at Land At Tyle Crwth South West Of Ynysddu	Awaiting views of consultees.
18/0225/COND 08.03.18	Discharge condition 24 (Affordable Housing) of planning consent 17/0489/FULL (Erect 34 No. residential dwellings and associated works) Former Gardd Y Craig 106 Commercial Street Pontymister Risca	Awaiting views of consultees.
18/0255/OUT 19.03.18	Demolish existing buildings and erect residential development with associated works and seek approval of access at Virginia Park Garage Melville Terrace Caerphilly	Awaiting views of consultees.
18/0264/LBC 20.03.18	Carry out remedial works to footbridge, including replacement deck, strengthening, redecorating and the addition of a passenger safety hand rail at Llanbradach Railway Station Plas Cae Llwyd Llanbradach	Awaiting views of consultees.

18/0266/COND 22.03.18	Discharge of conditions 03 (Land drainage), 05 (Bat roost provision), 06 (Bird nesting provision), 07 (Contamination - scheme to treat), 08 (Contamination - soil import testing), 09 (Contamination - validation) and 10 (Site boundary set back and footway) of planning consent 14/0823/FULL (Construct detached residential dwelling with off-street parking) at Plot 1 74 Heol Fawr Nelson Treharris	Awaiting views of consultees.
18/0268/COND 22.03.18	Discharge conditions 15 (Sustainable drainage system) and 16 (Foul and surface water) of planning consent 15/0567/OUT (granted on appeal reference APP/K6920/A/16/3160200 Erect residential development of up to 175 units including open space provision, access and parking arrangements) at Land At Oakdale Golf Course Oakdale Golf Course Lane Oakdale Blackwood	Awaiting views of consultees.
18/0373/RET 25.04.18	Change the use of the land to keep chickens, ducks and birds and to retain and complete chicken shed, duck shed and bird aviary Land Adjacent To Ogilvie Terrace Deri Bargoed	Subject to further discussion and consideration.

Agenda Item 18

APPLICATIONS AWAITING COMPLETION OF A SECTION 106 AGREEMENT

APPLICATION NUMBER & DATE RECEIVED	DESCRIPTION & LOCATION OF DEVELOPMENT	COMMENTS
P/06/0037 13.01.06	Redevelop site incorporating 545 residential units and 2.5 acres for a primary school at Waterloo Works, Machen.	Received draft agreements. Waiting for internal comments. Can't agree over some clauses regarding Affordable Housing. Waiting for instructions from Planning.
09/0243/OUT 31.03.09	Erect residential development and associated recreation space on land at Former Windsor Colliery, Ty'n Y Parc, Abertridwr, Caerphilly.	On hold pending outcome of meeting with Housing Association. File closed due to no progress.
13/0479/FULL 02.04.13	Erect new house at Former Holly House Nursing Home, Victoria Road Fleur-de-lis, Blackwood.	Sent draft for approval. Also waiting for plan. Chased.
16/0016/NCC 08.01.16	Vary condition 1 of planning consent 2/06678 (Quarrying of Grit stone. 8.5 hectares) to extend the consent end date/expiry date to 31st December 2027 at Hafod Quarry Hafod Fach Lane Abercarn Newport	Approved new plan. Change with title so amended draft and sent for approval. Chased. They were in discussions with Trustees solicitors. Chased again.
16/0017/NCC 08.01.16	Vary condition 1 of planning consent 2/07947/T (Storage of overburden from adjacent Quarry) to extend the consent end date/expiry date to 31st December 2027 at Hafod Quarry Hafod Fach Lane Abercarn Newport	Approved new plan. Change with title so amended draft and sent for approval. Chased. They were in discussions with Trustees solicitors. Chased again.
16/0076/OUT 28.01.16	Erect residential development at Land To The North Of Meadowland Close Caerphilly	Revised plan agreed. Legal to send out agreement for signature.
16/0085/NCC 05.02.16	Vary conditions 03 and 04 of planning permission 13/0058/NCC to extend the period of time for the submission of reserved matters and the commencement of the development at Land Off Pencoed Avenue Cefn Fforest Blackwood	Waiting for instructions from housing. No change.

16/0508/OUT 16.06.16	Erect a residential self-build dwelling at Plot 4 Land Adjacent To Islwyn Indoor Bowls Centre Gelli Lane Pontllanfraith Blackwood	Drafts agreed. Amended plan submitted. Still waiting for everything to be resolved from an application point of view. Not likely to proceed given new applications on list below.
16/0510/OUT 16.06.16	Erect a residential self-build dwelling at Plot 5 Land Adjacent To Islwyn Indoor Bowls Centre Gelli Lane Pontllanfraith Blackwood	Drafts agreed. Amended plan submitted. Still waiting for everything to be resolved from an application point of view. Not likely to proceed given new applications on list below.
17/0088/OUT 03.02.17	Construct housing development of 17 properties at Land At Fair View Garage Pengam Road Pengam Blackwood	Just received title evidence. Numerous issues with title so queried. Sols said they are in discussions with client to resolve issues.
17/0270/OUT 27.03.17	Erect residential development of up to 175 units including open space provision, access and parking arrangements and to approve the matters of access and scale on Land at Oakdale Golf Course Oakdale Golf Course Lane Oakdale Blackwood	
17/0545/NCC 28.06.17	Vary Condition 3 of planning consent 12/0531/OUT (Erect mixed residential development comprising of fifteen new build dwellings) to extend the time for submitting reserved matters applications Land At (Grid Ref 323900 190615) Station Approach Risca	Requested solicitor's details. Chased.
17/0616/COU 14.07.17	Convert former night club at second floor level to 7 No. flats (D2 to C3) at Pulsars Niteclub 3A Pentrebane Street Caerphilly	Issues with title and changes to plan. In process of resolving.
17/0617/COU 14.07.17	Convert first and second floors to 6 No. 1 bedroom flats at 1 Pentrebane Street Caerphilly	Issues with title and changes to plan. In process of resolving,
17/0966/FULL 09.11.17	Construct 14 dwellings and associated works at The De-Winton De Winton Terrace Llanbradach Caerphilly	Signed UU being sent by UWHA.
17/1079/OUT 15.12.17	Erect detached self-build dwelling at Plot 4 Land Adjacent To Islwyn Indoor Bowls Centre Gelli Lane Pontllanfraith Blackwood	Documents being sealed ready for completion.

Agenda Item 19

OUTSTANDING APPEALS

APPEAL REF/ PLANNING APP. NO.	APPELLANT	PROPOSAL & LOCATION	DATE APPEAL REGISTERED
18/0002/REF 17/1031/FULL	Mr J Davies 6 William Street Fleur-de-lis Blackwood NP12 3UJ	Erect detached dwelling at Land Rear Of 6 William Street Fleur-de-lis Blackwood NP12 3UJ	22/03/2018
18/0003/REF 17/0846/FULL	Ms L Cochrane GelliWen Farm Bedwellty Road Markham Blackwood NP12 0PP	Erect development of affordable housing consisting of 2 no. three bed houses and 1 no. two bed house on Land at Bedwellty Road Bedwellty	02/05/2018
18/0005/REF 17/0931/OUT	Mr W Thomas Duffryn Farm Pontlottyn Bargoed	Construct two detached dwellings with new junction and private drive at Land at Grid Ref 311245 205964 Fochriw Road Pontlottyn Bargoed	07/06/2018
18/0006/COND 18/0085/NCC	Bryn Power Ltd C/o Barton Willmore Mr J Ayoubkhani Greyfriars House Greyfriars Road Cardiff CF10 3AL	Vary condition 8 of planning consent 15/0488/RET (Retain development previously approved under planning permission 11/0224/FULL for the construction of an anaerobic digestion facility with changes to construction details relating to the position of the digestate tanks, digestate lagoon, surplus gas flare, silage clamp and associated works and to change the use of the existing in vessel compositing building to an anaerobic digestion reception building and an in vessel composting facility) to enable the continuation of restricted Saturday and Bank Holiday hours (which have been operated under for the past three years)	12/06/2018

18/0007/LB 18/0319/LBC	Mrs N Watkins Ty Tallis 13 Penrhiw Terrace Oakdale Blackwood NP12 0JH	Replace 1980's mock georgian bar windows on upper floor with R9 georgian bar windows	13/06/2018
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APPEALS DECIDED

APPEALS DECIDED APPEAL REF/ PLANNING APP NO.	PROPOSAL & LOCATION APPEAL	DECISION/ DATE	COMM/ DEL
18/0001/REF 17/0481/FULL	Install a 15m monopole supporting 3 No. antennas, 2 No. dishes, ground based equipment cabinets and ancillary development thereto at Land At Corner Of Central Avenue Ivy Place Oakdale Blackwood	Allowed 27/06/2018	DEL
18/0004/REF 18/0035/FULL	Construct loft conversion with dormer at 4 Newport Road Pontllanfraith Blackwood NP12 2JN	Dismissed 25/06/2018	DEL

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